

**AGENDA
CITY OF THE COLONY
PLANNING AND ZONING COMMISSION
MAY 12, 2015**

After determining that a quorum is present, the Planning and Zoning Commission of the City of The Colony, Texas will convene into regular session which will be held on Tuesday, May 12, 2015 at 6:30 PM in the City Council Chambers located in City Hall, 6800 Main Street, The Colony, Texas, at which time the following items will be addressed:

1.0	CALL REGULAR SESSION TO ORDER
1.1	Citizen Input
2.0	CONSENT AGENDA
2.1	Consider approval of the minutes of the April 28, 2015 Regular Session.
3.0	PUBLIC HEARING ITEMS
3.1	<p><i>SUP14-0011 Brazos Electric Power Cooperative – Electrical Substation Specific Use Permit</i></p> <p>Conduct a public hearing, discuss and consider making a recommendation to City Council on a request for a Specific Use Permit (SUP) to allow an electrical substation facility known as the Josey Electrical Substation on 10.445-acres of land located near the northwest corner of Plano Parkway and Windhaven Parkway, approximately 100 feet North of Windhaven Parkway in Planned Development 22 (PD-22 – Austin Ranch) zoning district.</p>
3.2	<p><i>SUP15-0003 Brazos Electric Power Cooperative – Monopole Antenna Specific Use Permit</i></p> <p>Conduct a public hearing, discuss and consider making a recommendation to City Council on a request for Specific Use Permit (SUP) to allow a monopole antenna to be located at the Josey Electrical Substation facility on 10.445-acres of land located near the northwest corner of Plano Parkway and Windhaven Parkway, approximately 100 feet North of Windhaven Parkway in Planned Development 22 (PD-22 – Austin Ranch) zoning district.</p>
3.3	<p><i>SUP15-0006 Carvana Specific Use Permit</i></p> <p>Conduct a public hearing, discuss and consider making a recommendation to City Council on a request for Specific Use Permit to allow an automobile sales facility, called Carvana, on approximately 1.38 acres, located approximately 1,060 feet west of Paige Road and approximately 600 feet south of Memorial Drive adjacent to the existing Firestone Tire and Vehicle Service Store within the Business Park (BP) zoning and the Gateway Overlay District.</p>
3.4	<p><i>SI14-0019 Zoning Ordinance Text Amendments</i></p> <p>Conduct a public hearing, discuss and consider making a recommendation to City Council regarding a text amendment for revisions to Section 13-100, “Off-Street Parking Schedule” to revise the required parking ratios for certain land uses. (Continued from the April 14, 2014 Planning and Zoning Commission Meeting)</p>

4.0	DISCUSSION ITEMS
4.1	<i>SP14-0022 Brazos Electric Power Cooperative – Electrical Substation Development Plan</i> Discuss and consider making a recommendation to City Council on a request for a Development Plan to allow an electrical substation facility known as the Josey Electrical Substation on 10.445-acres of land located near the northwest corner of Plano Parkway and Windhaven Parkway, approximately 100 feet North of Windhaven Parkway in Planned Development 22 (PD-22 – Austin Ranch) zoning district.
4.2	<i>SP15-0004 Corner Store Development Plan</i> Discuss and consider making a recommendation to the City Council on a request for approval of a Development Plan for a 1.962-acre portion of Tract B-4 in Planned Development 16 (PD-16) for a 4,650 square foot convenience store with gasoline pumps, located on the southwest corner of South Colony Boulevard and Memorial Drive.


“Pursuant to the Texas Open Meetings Act, Government Code Chapter 551, one or more of the above items may be considered in executive session closed to the public. Any decision held on such matter will be taken or conducted in open session following the conclusion of the executive session”.

Persons with disabilities who plan to attend this meeting who may need auxiliary aids such as interpreters for persons who are deaf or hearing impaired, readers or, large print are requested to contact Christie Wilson, City Secretary, at 972-624-3106 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

CERTIFICATION

I hereby certify that above notice of meeting was posted outside the front door of City Hall by 5:00 p.m. on the 8th day of May, 2015.




Christie Wilson, City Secretary

**MINUTES
CITY OF THE COLONY
PLANNING AND ZONING COMMISSION
APRIL 28, 2015**

After determining that a quorum was present, the Planning and Zoning Commission of the City of The Colony, Texas convened into Regular Session which was held on Tuesday, April 28, 2014 at 6:30 PM in the City Council Chambers located in City Hall, 6800 Main Street, The Colony, Texas, at which time the following items were addressed:

Board Members Present: Karen Hames, Chairman; Cesar Molina, Jr.; Detrick DeBurr; Brian Buffington, and Shannon Hebb.

Board Members Absent: Cody Hall, Vice Chairman; and Janece Pool

City Council Liaison: David Terre, City Council Place 4

Staff Present: Mike Joyce, AICP, Planning Director, Gordon Scruggs, P.E., Engineering and Development Services Director; Surupa Sen, Senior Planner, Edwin Voss, City Attorney; and Brian Mcnuelty, Technical Assistant

1.0	CALL REGULAR SESSION TO ORDER
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Chairman Hames called the meeting to order at 6:30 PM.

1.1	CITIZEN INPUT
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No citizens came forward during Citizen Input.

2.0	CONSENT AGENDA
2.1	Consider approval of the minutes of the April 14, 2015 Regular Session.
2.2	<i>FP15-0001 The Hudson - Parks of Austin Ranch</i> Consider approval of a Final Plat of Lots 1, 2, 3, 4 and 5, Block D of the Hudson Parks of Austin Ranch, being a 46.22 acre tract of land, situated is the Andrews Survey, Abstract No. 18 and S. B. Evans Survey Abstract No. 397, The Colony, Texas. The property is located near the southwest corner of Windhaven and Plano Parkway.

Chairman Hames read the Consent Agenda items into the record.

Commissioner Hebb moved to approve Item 2.1 and 2.2 Commissioner Buffington seconded the motion. Motion carried (5-0).

3.0	PUBLIC HEARING ITEMS
3.1	<i>SUP15-0005 FM423 Temporary Concrete Batch Plant Specific Use Permit</i> Conduct a public hearing and consider making a recommendation to City Council regarding a Specific Use Permit (SUP) to allow a temporary concrete batch plant within a Light Commercial (LC) zoning district located approximately 560 feet west of FM 423 (Main Street) on approximately 12.25-acres. The site is addressed as 6001 Main Street.

Ms. Sen presented the staff report.

Minutes of Planning and Zoning Commission Meeting

April 28, 2015

Page 2

Commissioner Molina asked if the driveway will be returned to its original state after the batch plant closes operation.

Mr. Scruggs stated that Webber Construction has a contract with the City and the City Council has approved the use of this City owned property for this purpose. As per the contract the driveway will be repaired and returned to its original state.

Commissioner Hebb asked if the batch plant will be in the floodplain.

Applicant John Stone, Webber Construction, stated that the batch plant will stay out of the flood plain limits.

Chairman Hames opened the public hearing at 6:36 p.m. No comments were received during public hearing. Chairman Hames closed the public hearing at 6:37 p.m.

Since there were no further questions from the Commission, Chairman Hames called for a motion.

Commissioner Molina moved to approve Item 3.1. Commissioner Hebb seconded the motion. Motion carried (5-0).

3.2	<i>SI14-0018, Vehicle Rental Uses</i> Conduct a public hearing, discuss and consider making a recommendation to City Council regarding amendments to Appendix A the Zoning Ordinance, Section 10-100, Schedule of Uses by District, and Section 10-300, Definitions and Explanations Applicable to the Use Schedule, and by adding a new use entitled "Vehicle Rentals" to establish regulations for this new land use. (Continued from April 14, 2015 Planning and Zoning Commission meeting)
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Chairman Hames stated that staff is withdrawing this particular item.

There being no further business to come before the Commission, Chairman Hames adjourned the Regular Session of the Planning and Zoning Commission at 6:38 PM.

Karen Hames, Chairman

Surupa Sen, Senior Planner

PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: May 12, 2015

DEPARTMENT: Engineering/Development Services Department

PLANNER: Surupa Sen, Senior Planner, 972-624-3164

SUBJECT: ***SUP14-0011 Brazos Electric Power Cooperative – Electrical Substation
Specific Use Permit***

Conduct a public hearing, discuss and consider making a recommendation to City Council on a request for a Specific Use Permit (SUP) to allow an electrical substation facility known as the Josey Electrical Substation on 10.445-acres of land located near the northwest corner of Plano Parkway and Windhaven Parkway, approximately 100 feet North of Windhaven Parkway in Planned Development 22 (PD-22 – Austin Ranch) zoning district.

OWNER/ENGINEER

Owner/Developer:	Brazos Electric Power Cooperative	Waco, Texas
Engineer/Surveyor:	Kimley-Horn and Associates	Dallas, Texas

EXISTING CONDITION OF PROPERTY

The property is currently undeveloped.

PROPOSED DEVELOPMENT

The applicant is proposing an electrical substation facility called Josey Subststion on 10.445-acres of land.

ADJACENT ZONING AND LAND USE

North - Planned Development District (PD-22) – undeveloped land

South - Planned Development District (PD-22) – undeveloped land, Windhaven Parkway and The Boathouse multiple-family development across Windhaven Parkway

East- Planned Development District (PD-22) – Plano Parkway and undeveloped land across Plano Parkway

West- Planned Development District (PD-22) – undeveloped land

DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW

The Development Review Committee (DRC) finds the Specific Use Permit (SUP) meets the requirements of PD-22 and Section 10-905 of the Zoning Ordinance, as outlined in the Staff Report.

ATTACHMENTS

1. Staff Analysis
2. Location Map
3. SUP Site Plan
4. Landscape Plan

ATTACHMENT 1

Staff Analysis

Summary of Request

The Brazos Electric Power Cooperative is proposing an electrical substation facility called the Josey Electrical Substation on 10.445-acres of land located near the northwest corner of Plano Parkway and Windhaven Parkway.

Existing Condition of Property

The subject property is undeveloped.

Platting Status

Property is unplatted.

Adjacent Zoning/Land Use

North - Planned Development District (PD-22) – undeveloped land

South - Planned Development District (PD-22) – undeveloped land, Windhaven Parkway and The Boathouse across Windhaven Parkway

East- Planned Development District (PD-22) – Plano Parkway and undeveloped land across Plano Parkway

West- Planned Development District (PD-22) – undeveloped land

Land Use Analysis

The Zoning Ordinance requires a Specific Use Permit (SUP) for electrical substations.

Infrastructure Improvements

No specific public infrastructure improvements are planned for this area.

Proposed Land Use

The electrical substation facility will involve switching, projection and control equipment, transformers, along with several other types of equipment, required to transform high voltage power from the transmission system to a reduced voltage level suitable for the local distribution of electric power. This electrical substation is an unmanned facility. Automated supervision and control of the substation from a remote centrally attended location has become economically necessary as the complexity of the transmission and distribution networks grow.

The site is accessed from Plano Parkway through a driveway. No paved parking is proposed on site. The substation property is proposed to be covered in gravel. A five-foot (5') wide concrete sidewalk has been provided along Plano Parkway.

Specific Use Permit (SUP) Criteria

In accordance with Section 10-905 (Special Use Permits - Approval Criteria) of the Zoning Ordinance, the Planning and Zoning Commission and City Council shall review and evaluate a Specific Use Permit application using the following criteria:

1. Conformance with the City of The Colony's Comprehensive Plan;

The Future Land Use Map identifies this area as "Austin Ranch Mixed Use Development." The substation is a needed public utility and will serve the area. It is

compatible with the “Austin Ranch Mixed Use Development” designation of “The Colony Comprehensive Plan.”

2. **Conformance with applicable regulations and standards established by the zoning regulations;**

With the approval of the SUP, the application will be in conformance with the Zoning Ordinance.

3. **Compatibility with existing or permitted uses on abutting sites, in terms of building height, build and scale, setbacks on open spaces, landscaping and site development, access and circulation features, architectural compatibility;**

The surrounding area is contains mostly undeveloped land at this time. In the future, commercial/retail and multiple family developments are proposed in this area of PD-22. The Planned Development and the Zoning Ordinance also requires landscaping to provide a visual screening along Windhaven and Plano Parkways. As a result of these PD-22 requirements, the substation will not adversely affect the surrounding land uses.

4. **Safety and convenience of vehicular and pedestrian circulation in the vicinity, including traffic reasonably expected to be generated by the proposed use and other uses reasonable and anticipated in the area, existing zoning and land uses in the area;**

The facility is automated and unmanned. As a result, the proposed use will not generate significant vehicular or pedestrian traffic.

5. **Protection of persons and property from erosion, flood, or water damage, fire, noise, glare, air quality, generation of dust and odors, and similar hazards and impacts;**

The proposed development will be constructed in accordance with applicable adopted regulations at the time of construction.

6. **Location, lighting and type of signs; the relation of signs to traffic control and adverse effect of signs on adjacent properties;**

No signage is being proposed.

7. **Adequacy and convenience of off-street parking and loading facilities;**

No parking layout has been shown with the SUP application. A Development (Site) Plan (SP14-0022) has been submitted as a companion application with this SUP application.

8. **Determination that the proposed use and site development, together with any modifications applicable thereto, will be compatible with existing or permitted uses in the vicinity;**

The surrounding area contains mostly undeveloped land. In the future, commercial/retail and multiple family developments are proposed in this area of PD-22. The Planned Development also requires landscaping to provide a visual screening along Windhaven and Plano Parkways. As a result the substation should be a compatible land use with the surrounding area.

9. **Determination that any conditions applicable to approval are the minimum necessary to minimize potentially unfavorable impacts on nearby uses in the same district and surrounding area; and**

With the PD-22 requirements and landscape screening proposed to be provided, the visual and aesthetic impact of a substation located on a higher ground can be mitigated.

10. **Determination that the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare of materially injurious to properties or improvements in the vicinity.**

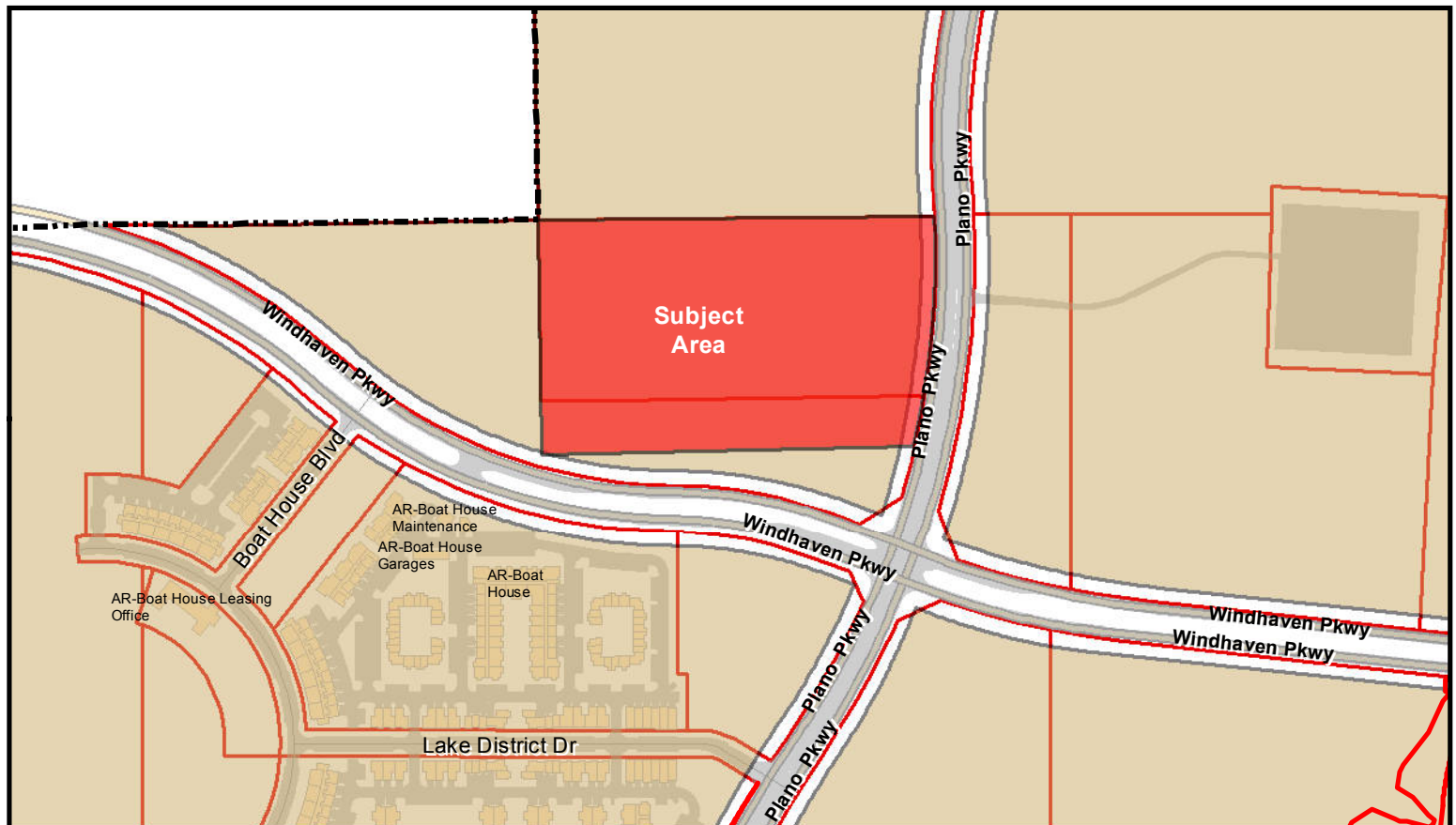
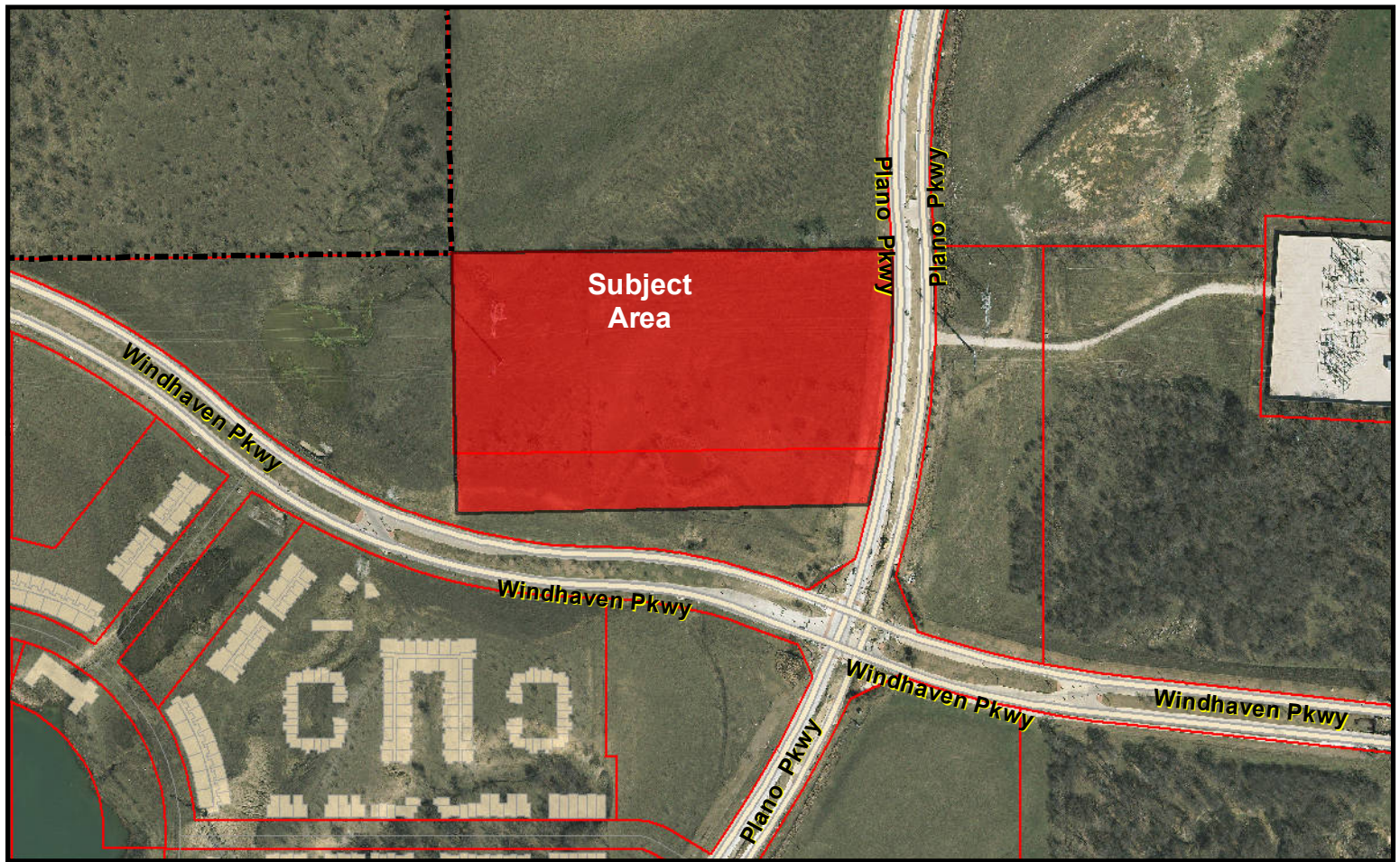
The proposed use should not be detrimental to the public health, safety, or welfare.

Notification

The Zoning Ordinance requires newspaper notification a minimum of ten (10) days prior to the Planning and Zoning Commission meeting. Notice for this SUP Public Hearing was published in *The NeighborsGO* on May 1, 2015. In addition, Zoning Ordinance also requires notification of property owners located within 200 feet of the subject property a minimum of ten (10) days prior to the public hearing. Postcards were mailed on April 27, 2015 to two (2) property owners. No comments either for or against the SUP were received as of the printing of this packet.

Development Review Committee Review

The Development Review Committee (DRC) finds that the Specific Use Permit (SUP) meets applicable requirements of the PD-22 Ordinance and the Zoning Ordinance, therefore the DRC recommends approval.



Project No. SUP14-0011 - Project Name: Brazos Electric Plant (Josey Sub)

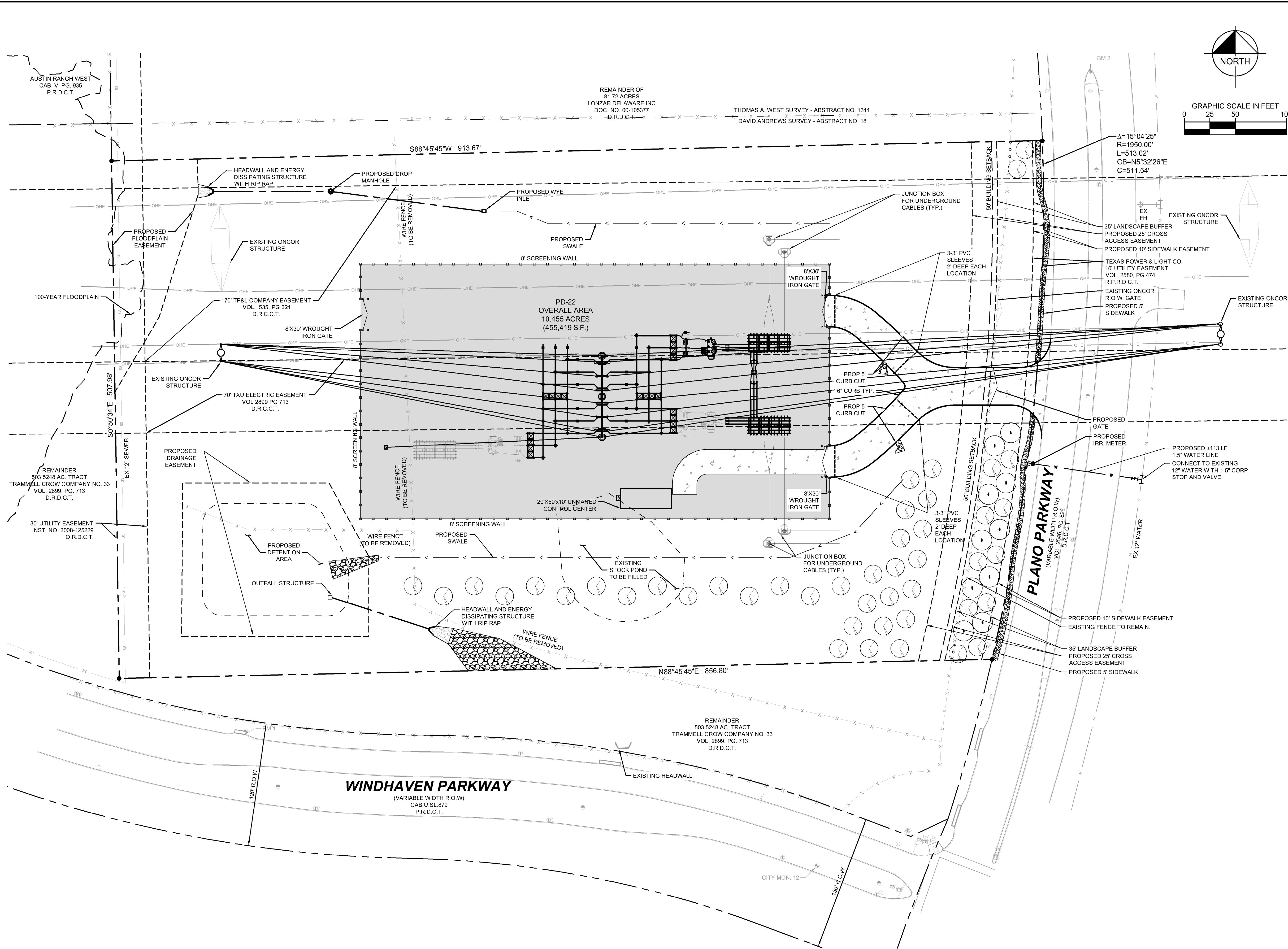


Josey Substation	Business Park/Industrial	Heavy Commercial	Mobile Home	Planned Development	Building Footprints
Agricultural	Duplex Dwelling	Industrial	Neighborhood Service	Shopping Center	
Business Park	General Retail	Light Commercial	Office District 1	Single Family Dwelling	

This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These digital products are for illustration purposes only and are not suitable for site-specific decision making.



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ZONING (from zoning map)	PD-22
LAND USE	SUP FOR ELECTRICAL SUBSTATION
LOT AREA / SQ. FT. AND AC	455,419 SQ. FT. 10.455 AC
TOTAL PARKING REQUIRED (with ratio)	N/A
TOTAL PARKING PROVIDED (with ratio)	N/A

[illegible]

Kimley»»Horn

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12750 MERIT DRIVE, SUITE 1000, DALLAS, TX 75251
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928

KHA PROJECT 064402104	DATE 4/17/2015	SCALE	AS SHOWN
		DESIGNED BY	SEG
		DRAWN BY	SEG
		CHECKED BY	STW

JOSEY SUBSTATION
WINDHAVEN PARKWAY
CITY OF THE COLONY
DENTON COUNTY, TEXAS

SHEET NUMBER

SUP-00

SPECIFIC USE PERMIT

SITE PLAN

SPECIFIC USE PERMIT
JOSEY SUBSTATION

Being 10.455 Acres Out Of The
David Andrews Survey
Abstract No. 18
City of The Colony, Denton County, Texas
City Project No. SUP14-0011
Submitted February 25, 2015
Resubmitted MAY 5, 2015

Owner/Applicant Brooks Electric Cooperative, Inc. 7616 Bagby Ave Waco, TX 76712 Contact: Mark Buckingham Phone: 254.765.0471	Engineer/Surveyor: Kinley-Horn and Associates, Inc. 12750 Merit Drive, Suite 1000 Dallas, Texas 75251 Contact: Sarah Williamson P.E. Phone: 972.776.1178
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BENCHMARKS

CITY MON 12 3 1/4" ALUMINUM DISK FOUND
IN CONCRETE IN THE MEDIAN OF WINDHAVEN
PARKEYWAY. 6.8' NORTH OF THE SOUTH MEDIAN
CURB AND 96.7' WEST OF THE WEST MEDIAN
NOSE AT THE INTERSECTION OF PLANO
PARKEYWAY.

ELEV=545.45

BM 1 "X" SET ON THE NORTHEAST CORNER
OF A CURB INLET 809.4± WEST OF THE
INTERSECTION OF THE NORTH R.O.W. LINE OF
WINDHAVEN PARKEYWAY AND THE WEST R.O.W.
LINE OF PLANO PARKEYWAY.

ELEV=549.28

BM 2 "X" SET ON THE NOSE OF A MEDIAN IN
PLANO PARKEYWAY 852± NORTH OF THE
INTERSECTION OF THE NORTH R.O.W. LINE OF
WINDHAVEN PARKEYWAY AND THE WEST R.O.W.
LINE OF PLANO PARKEYWAY.

ELEV=577.53

PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: May 12, 2015

DEPARTMENT: Engineering/Development Services Department

PLANNER: Surupa Sen, Senior Planner, 972-624-3164

SUBJECT: *SUP15-0003 Brazos Electric Power Cooperative – Monopole Antenna Specific Use Permit*

Conduct a public hearing, discuss and consider making a recommendation to City Council on a request for Specific Use Permit (SUP) to allow a monopole antenna to be located at the Josey Electrical Substation facility on 10.445-acres of land located near the northwest corner of Plano Parkway and Windhaven Parkway, approximately 100 feet North of Windhaven Parkway in Planned Development 22 (PD-22 – Austin Ranch) zoning district.

OWNER/ENGINEER

Owner/Developer:	Brazos Electric Power Cooperative	Waco, Texas
Engineer/Surveyor:	Kimley-Horn and Associates	Dallas, Texas

EXISTING CONDITION OF PROPERTY

The property is currently undeveloped.

PROPOSED DEVELOPMENT

Applicant is proposing a 120' tall monopole antenna to be erected within an electrical substation facility called Josey Subststion on 10.445 acres of land.

ADJACENT ZONING AND LAND USE

North - Planned Development District (PD-22) – undeveloped land

South - Planned Development District (PD-22) – undeveloped land, Windhaven Parkway and Boathouse across Windhaven Parkway

East- Planned Development District (PD-22) – Plano Parkway and undeveloped land across Plano Parkway

West- Planned Development District (PD-22) – undeveloped land

DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW

The Development Review Committee (DRC) finds the monopole SUP Site Plan meets the requirements of the PD-22 Ordinance and Zoning Ordinance Section 10 C as outlined in the Staff Report.

ATTACHMENTS

1. Staff Analysis
2. Location Map
3. Specific Use Permit Site Plan

ATTACHMENT 1

Staff Analysis

Summary of Request

Applicant is proposing to erect a 120' tall monopole antenna within an electrical substation facility called Josey Substation on 10.445-acres of land.

Existing Condition of Property

The subject property is undeveloped.

Platting Status

Property is unplatted.

Adjacent Zoning/Land Use

North - Planned Development District (PD-22) – undeveloped land

South - Planned Development District (PD-22) – undeveloped land, Windhaven Parkway and Boathouse across Windhaven Parkway

East- Planned Development District (PD-22) – Plano Parkway and undeveloped land across Plano Parkway

West- Planned Development District (PD-22) – undeveloped land

Land Use Analysis

Zoning Ordinance “Section 10C – Radio, Television and Wireless Communication Facilities” requires a Specific Use Permit (SUP) for monopole antennas.

Infrastructure Improvements

No specific public infrastructure improvements are planned for this area.

Circulation and Parking

The electrical substation facility will involve switching, projection and control equipment, transformers, along with several other types of equipment, required to transform high voltage power from the transmission system to a reduced voltage level suitable for the local distribution of electric power. This electrical substation is an unmanned facility. Automated supervision and control of the substation from a remote centrally attended location has become economically necessary as the complexity of the transmission and distribution networks grow.

The site is accessed from Plano Parkway through a driveway. No paved parking is proposed on site. The substation property is proposed to be covered in gravel. A five-foot (5') wide concrete sidewalk has been provided along Plano Parkway.

In accordance with Section 10C – Radio, Television and Wireless Communication Facilities, the monopole antenna has complied with the regulations as follows:

1. Height does not exceed 120 feet;
2. Minimum setback from a public Right-of-Way is one (1) foot of setback for every two (2) feet of antenna height;
3. Minimum setback from a residential use or district is three (3) feet of setback for every one (1) foot of antenna height; and,
4. A driveway has been extended to the monopole antenna facility.

A City permit will be required to install the monopole if the SUP is approved.

In accordance with Section 10-905 (Special Use Permits - Approval Criteria) of the Zoning Ordinance: The Planning and Zoning Commission and City Council shall review and evaluate specific use permit applications using the following criteria:

1. **Conformance with the City of The Colony's Comprehensive Plan;**
The Future Land Use Map identifies this area as "Austin Ranch Mixed Use Development". The Electrical Substation is a needed public utility and will serve the area. The use of automated supervision and control of the substation from a remote centrally attended location requires an antenna. It is compatible with the "Austin Ranch Mixed Use Development" designation of "The Colony Comprehensive Plan."
2. **Conformance with applicable regulations and standards established by the zoning regulations;**
The application is in conformance with the Zoning Ordinance.
3. **Compatibility with existing or permitted uses on abutting sites, in terms of building height, build and scale, setbacks on open spaces, landscaping and site development, access and circulation features, architectural compatibility;**
The surrounding area contains mostly undeveloped land; as a result the monopole will not adversely affect the surrounding land uses.
4. **Safety and convenience of vehicular and pedestrian circulation in the vicinity, including traffic reasonably expected to be generated by the proposed use and other uses reasonable and anticipated in the area, existing zoning and land uses in the area;**
The facility is automated and unmanned as a result the proposed use will not generate significant traffic.
5. **Protection of persons and property from erosion, flood, or water damage, fire, noise, glare, air quality, generation of dust and odors, and similar hazards and impacts;**
The proposed development shall be constructed in accordance with applicable adopted regulations at the time of construction.
6. **Location, lighting and type of signs; the relation of signs to traffic control and adverse effect of signs on adjacent properties;**
No signage is being proposed.
7. **Adequacy and convenience of off-street parking and loading facilities;**
No parking layout has been shown and it is staff's opinion that there is adequate space for parking on this site which will be graveled.

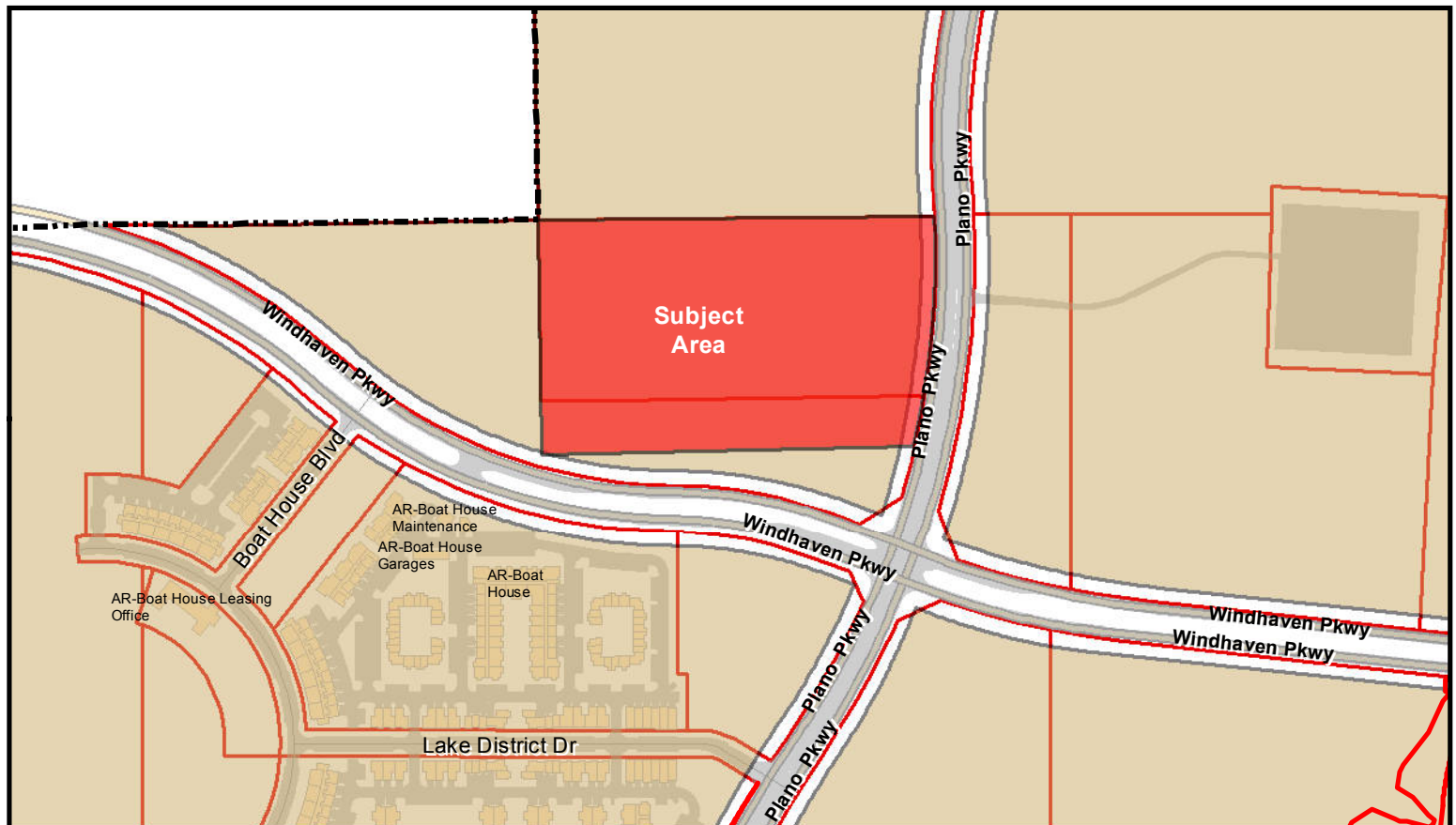
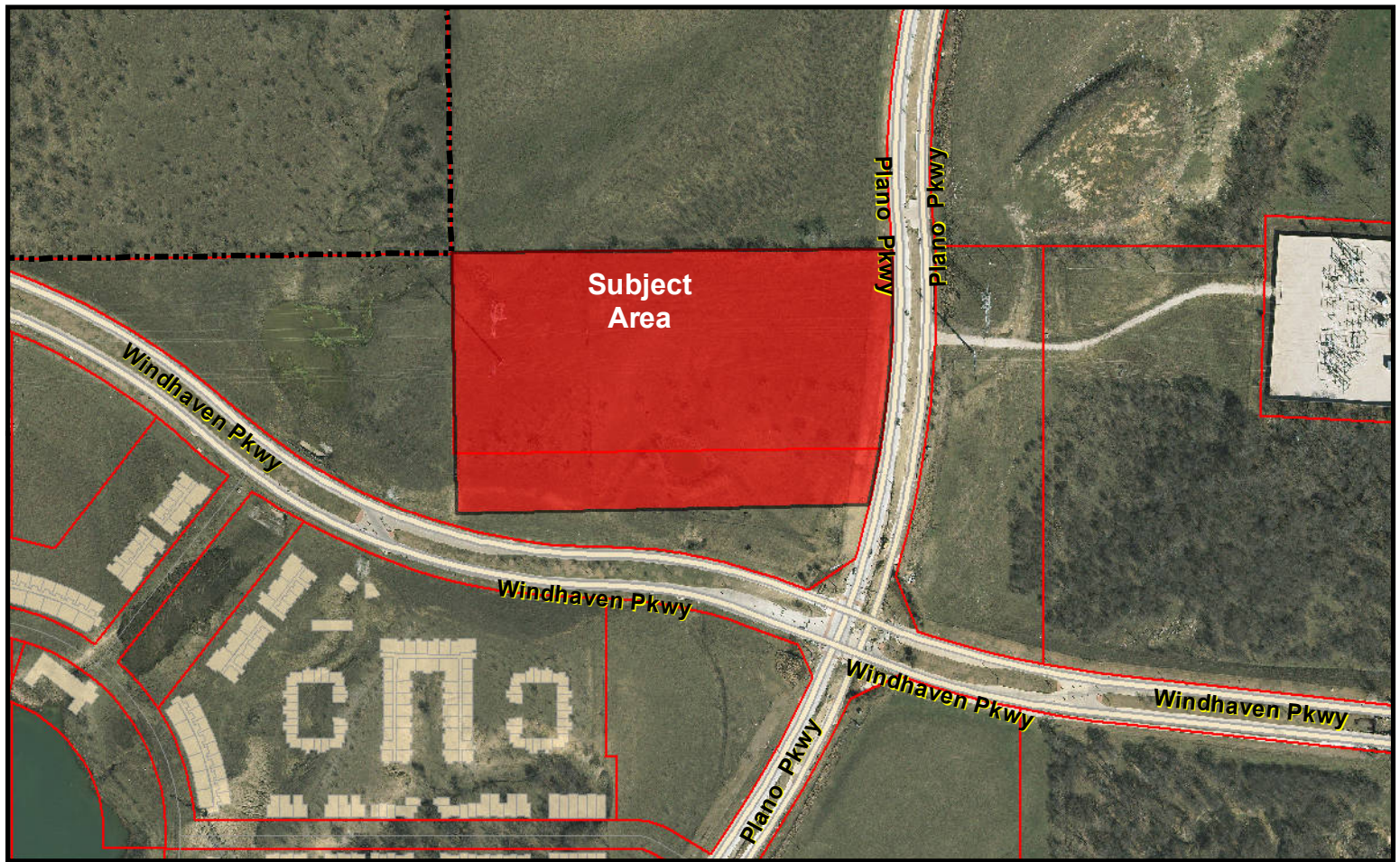
8. **Determination that the proposed use and site development, together with any modifications applicable thereto, will be compatible with existing or permitted uses in the vicinity;**
There are minimal visual and aesthetic impacts of a monopole located on a higher ground across a residential development, the Boathouse.
9. **Determination that any conditions applicable to approval are the minimum necessary to minimize potentially unfavorable impacts on nearby uses in the same district and surrounding area; and**
There are minimal visual and aesthetic impacts of a monopole located on a higher ground across a residential development, the Boathouse.
10. **Determination that the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare of materially injurious to properties or improvements in the vicinity.**
The proposed monopole antenna should not be detrimental to the public health, safety, or welfare.

Notification

The Zoning Ordinance requires newspaper notification a minimum of ten (10) days prior to the Planning and Zoning Commission meeting. Notice for this SUP Public Hearing was published in *The NeighborsGO* on May 1, 2015. In addition, Zoning Ordinance also requires notification of property owners located within 200 feet of the subject property a minimum of ten (10) days prior to the public hearing. Postcards were mailed on April 27, 2015 to two (2) property owners. No comments either for or against the SUP were received as of the printing of this packet.

Development Review Committee Review

The Development Review Committee finds that the request for Specific Use Permit (SUP) to allow a monopole antenna to be located at the Josey Electrical Substation facility meets all applicable requirements of the PD-22 Ordinance and Section 10C, Antenna Facility, of the Zoning Ordinance; and, Section 10-905, Specific Use Permit Approval Criteria, therefore recommends approval of the SUP for a monopole antenna.



Project No. SUP15-0003 - Project Name: Brazos Electric Plant (Josey Sub)



Josey Substation	Business Park/Industrial	Heavy Commercial	Mobile Home	Planned Development	Building Footprints
Agricultural	Duplex Dwelling	Industrial	Neighborhood Service	Shopping Center	
Business Park	General Retail	Light Commercial	Office District 1	Single Family Dwelling	

This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These digital products are for illustration purposes only and are not suitable for site-specific decision making.



PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: May 12, 2015

DEPARTMENT: Engineering/Development Services Department

PLANNER: Surupa Sen, Senior Planner, 972-624-3164

SUBJECT: *SUP15-0006 Carvana Specific Use Permit*

Conduct a public hearing, discuss and consider making a recommendation to City Council on a request for Specific Use Permit to allow an automobile sales facility, called Carvana, on approximately 1.38 acres, located approximately 1,060 feet west of Paige Road and approximately 600 feet south of Memorial Drive adjacent to the existing Firestone Tire and Vehicle Service Store within the Business Park (BP) zoning and the Gateway Overlay District.

OWNER/ENGINEER

Owner/Developer:	Kris Ramji	Irving, Texas
Engineer/Surveyor:	ClayMoore Engineering	Bedford, Texas

EXISTING CONDITION OF PROPERTY

The property is currently undeveloped.

PROPOSED DEVELOPMENT

The applicant is proposing a 13,535 square foot automobile sales facility called Carvana, on approximately 1.38-acres, located south of Memorial Drive on SH 121 adjacent to the existing Firestone Tire and Vehicle Service Store.

ADJACENT ZONING AND LAND USE

North - Business Park (BP), undeveloped land
South - SH 121 and the City of Lewisville
East - Business Park (BP), Firestone
West - Business Park (BP), undeveloped land

DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW

The Development Review Committee (DRC) finds the SUP to allow an automobile sales facility meets the requirements of the Appendix A, Zoning Ordinance, and other applicable ordinances within the Code of Ordinances as outlined in the Staff Report.

ATTACHMENTS

1. Staff Analysis
2. Location Map
3. SUP Site Plan
4. Proposed Elevation

ATTACHMENT 1

Staff Analysis

Summary of Request

The applicant is proposing a 13,535 square foot automobile sales facility called Carvana, on approximately 1.38 acres, located south of Memorial Drive on SH 121 adjacent to the existing Firestone Tire and Vehicle Service Store.

Land Use Analysis

The Zoning Ordinance requires approval of a Specific Use Permit (SUP) for Auto Sales (inside) uses in the Business Park (BP) zoning district. The application meets Section 10-905, SUP Approval Criteria of Appendix A, Zoning Ordinance, of the Code of Ordinances.

Existing Condition of Property

The subject property is undeveloped.

Platting Status

The property is unplatted. The preliminary plat for this property is under review by the staff.

Adjacent Zoning/Land Use

North - Business Park (BP), undeveloped land

South - SH 121 and the City of Lewisville

East - Business Park (BP), Firestone Tire and Vehicle Service Store

West - Business Park (BP), undeveloped land

Infrastructure Improvements

No specific public infrastructure improvements are planned for this area.

Circulation and Parking

The proposed facility will have direct access from SH 121/Sam Rayburn Tollway through a shared driveway. Mutual access easements have been provided to the north side property from the subject lot.

The parking ratio for vehicle sales is one (1) space per 4000 SF of site area. The parking provided meets the specific requirements of Section 13, Vehicular Parking, Parking Lot, and On-Site Traffic Regulations of the Zoning Ordinance.

Parking Standard	Parking Required	Parking Provided
Parking calculation for Carvana: one (1) space per 4000 SF of site area (60,050 SF)	16 spaces (1 ADA)	31 spaces (2 ADA)

Development Review Committee Review

The application is being reviewed using Section 10-905, SUP Approval Criteria of the Zoning Ordinance:

1. Conformance with the City of The Colony's Comprehensive Plan;

The Future Land Use Map identifies this area as the "S.H. 121 Corridor Development," which includes commercial, entertainment and support services. An automobile sales facility is an allowed use with the approval of a Specific Use Permit (SUP) in a Business Park (BP) zoning district. This application conforms to the Comprehensive Plan goals with the approval of the SUP.

2. Conformance with applicable regulations and standards established by the zoning regulations;

If the requested SUP is approved by City Council, the zoning for the Carvana Automobile Sales in this location would be established as BP-SUP. A site plan submittal is required and would have to comply with all requirements of the Zoning Ordinance and the Gateway Overlay District unless varied through the SUP approval.

3. Compatibility with existing or permitted uses on abutting sites, in terms of building height, build and scale, setbacks on open spaces, landscaping and site development, access and circulation features and architectural compatibility;

The automobile sales facility is generally compatible with the approved uses of the Business Park (BP) zoning district. In Section 10-2100, Business Park District; Special Regulations states in the Definitions section:

"Height Regulations: The height of the structures within this district shall be limited only by the maximum height for structures established by the Federal Aviation Administration (FAA)."

The tower height proposed for this building is 70-feet tall, which is in compliance with the BP zoning district. Building and scale, setbacks on open spaces, landscaping and site development, access and circulation features and architectural compatibility have been maintained. The location of this facility has 222-foot frontage on SH 121 and abuts the Firestone Tire and Auto Repair. To the north and west of the proposed Carvana is the vacant property to be developed in the future as Oak Point Village shopping area.

The Gateway Overlay District's Section 10A-900, Building Design Standards, states that the built environment in the Gateway Overlay District "...create a comfortably scaled well detailed urban environment that is pleasing to the eye." This Section also outlines building material and color standards. It states "Building materials and colors shall be consistent on all sides of a building". The Carvana building, excluding the display tower has 40% masonry on the exterior walls. The building colors and building materials follow their corporate branding. Clear glass and aluminum tilt wall used for display tower are considered window and are excluded from masonry calculations. As a result the building materials and colors are in compliance with Gateway Overlay District requirements.

4. Safety and convenience of vehicular and pedestrian circulation in the vicinity, including traffic reasonably expected to be generated by the proposed use and other uses reasonable and anticipated in the area, existing zoning and land uses in the area;

While the site plan for Carvana has not been submitted as yet, it will be required to meet the City's requirements for circulation, fire lanes, pedestrian sidewalks and all other pertinent city regulations.

5. Protection of persons and property from erosion, flood, or water damage, fire, noise, glare, air quality, generation of dust and odors, and similar hazards and impacts;

The proposed development shall be constructed in accordance with applicable adopted regulations (2012 International Building Code) at the time of construction.

6. Location, lighting and type of signs; the relation of signs to traffic control and adverse effect of signs on adjacent properties;

All proposed lighting shall comply with the City's regulations and any future signs shall comply with the adopted sign ordinance.

7. Adequacy and convenience of off-street parking and loading facilities;

The SUP's Site Plan indicates that 31 parking spaces will be provided, with 16 parking spaces being required for the proposed use, which meets Section 13, Vehicle Parking of the Zoning Ordinance.

8. Determination that the proposed use and site development, together with any modifications applicable thereto, will be compatible with existing or permitted uses in the vicinity;

The site is surrounded by either vacant property or businesses of commercial nature, so the use is compatible with surrounding uses existing or permitted.

9. Determination that any conditions applicable to approval are the minimum necessary to minimize potentially unfavorable impacts on nearby uses in the same district and surrounding area; and

There are no potentially unfavorable impacts on nearby uses.

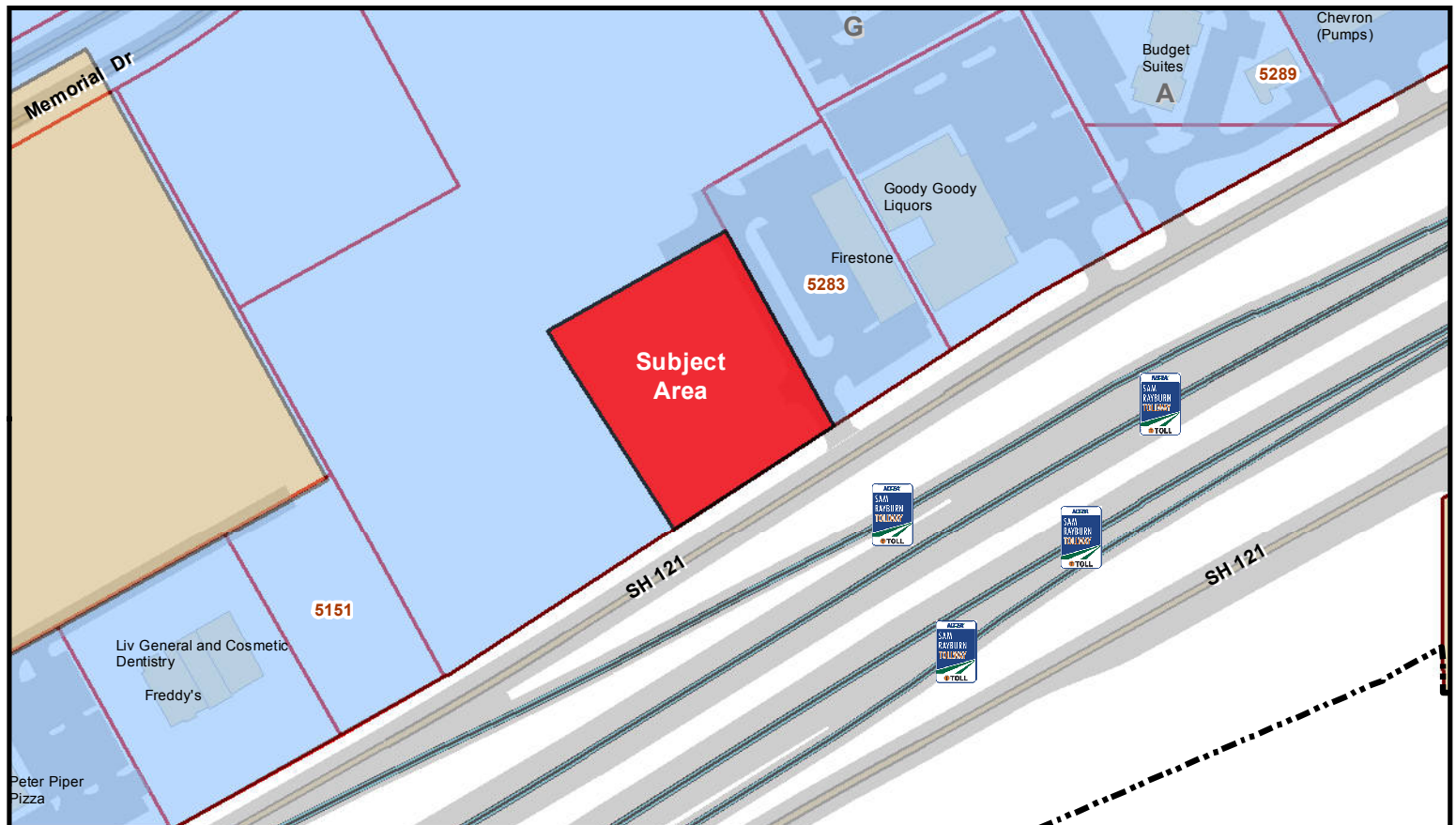
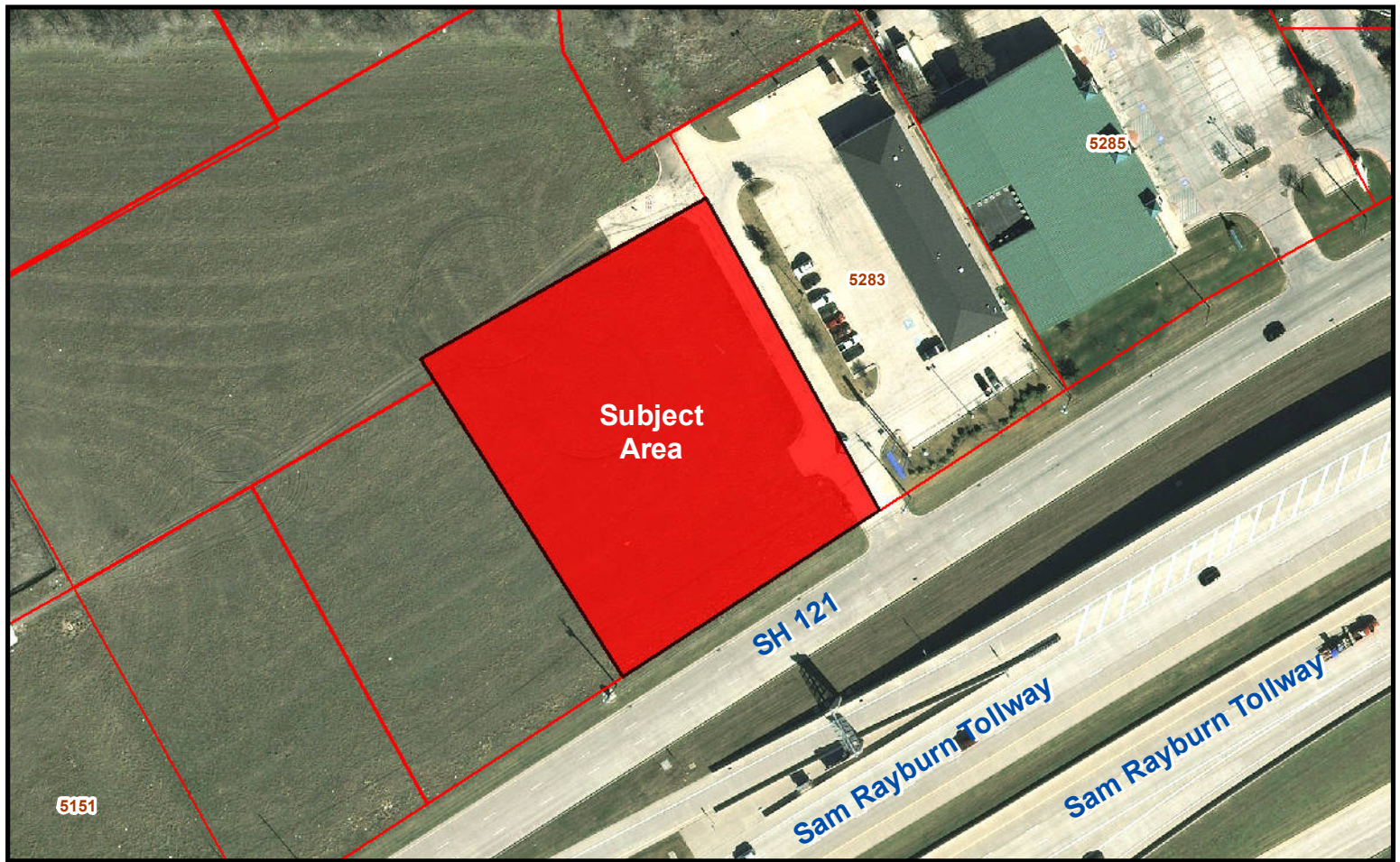
10. Determination that the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare of materially injurious to properties or improvements in the vicinity.

The proposed use should not have a negative effect on surrounding property owners.

The Development Review Committee (DRC) finds that the SUP Site Plan meets all applicable requirements of the Zoning Ordinance and therefore recommends approval.

Notification

The Zoning Ordinance requires newspaper notification a minimum of ten (10) days prior to the Planning and Zoning Commission meeting. Notice for this SUP Public Hearing was published in *The NeighborsGo* on May 1, 2015. In addition, Zoning Ordinance also requires notification of property owners located within 200 feet of the subject property a minimum of ten (10) days prior to the public hearing. Postcards were mailed on April 27, 2015 to five (5) property owners. No comments either for or against the SUP Site Plan were received as of the printing of this packet.



Project No. SUP15-0006 - Project Name: Carvana

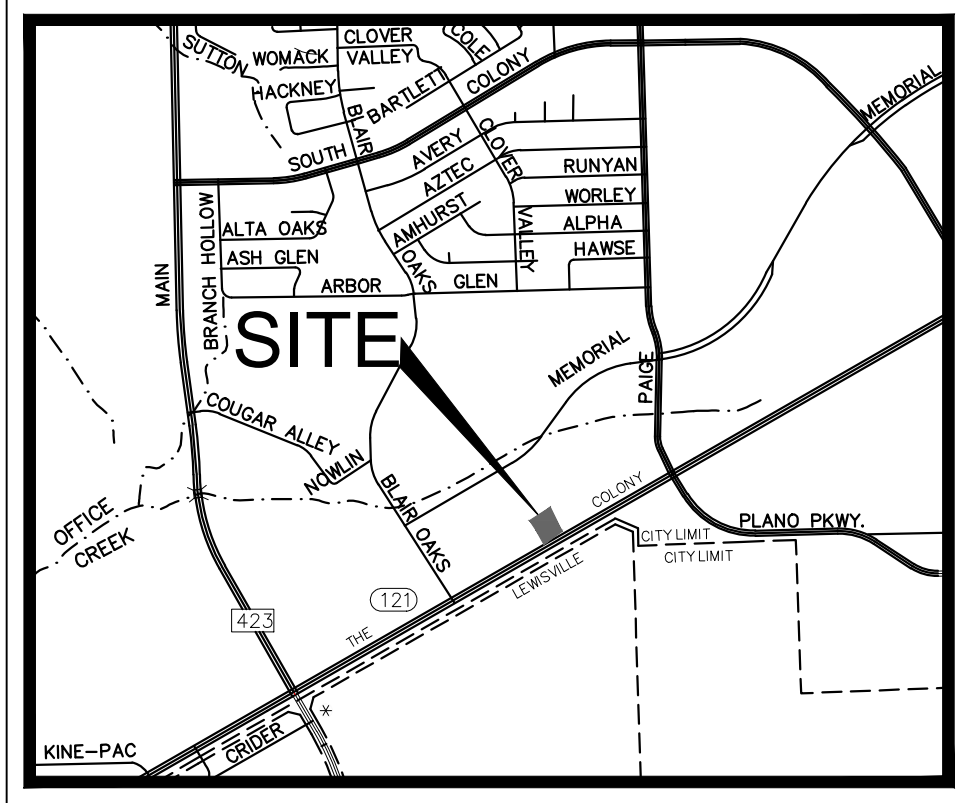
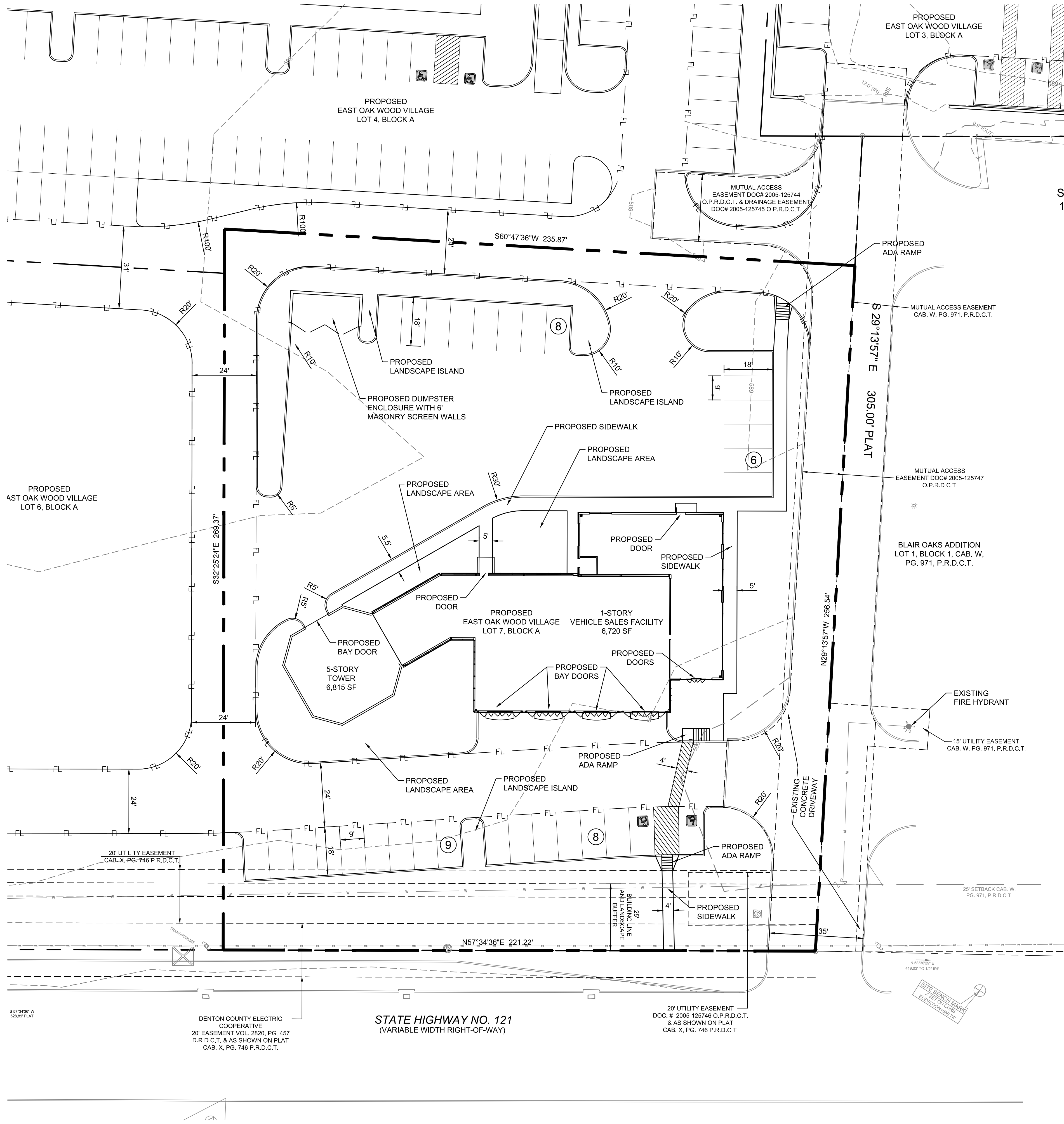


Victory 121, Lot 7 Blk A	Business Park/Industrial	Heavy Commercial	Mobile Home	Planned Development	Building Footprints
Agricultural	Duplex Dwelling	Industrial	Neighborhood Service	Shopping Center	
Business Park	General Retail	Light Commercial	Office District 1	Single Family Dwelling	

This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These digital products are for illustration purposes only and are not suitable for site-specific decision making.



PLOTTED BY: BOBBY KUBIN
 PLOT DATE: 4/2/2015 9:29 AM
 LOCATION: C:\TEMP\2015-030 VICTORY COLONY 121\CADD\SHEETS\SUP-1 SITE PLAN CARVANA.DWG
 LAST SAVED: 4/1/2015 11:40 AM



- NOTES:
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.
- ☐ A FIRE SPRINKLER SYSTEM WILL BE PROVIDED FOR THE PROPOSED BUILDING.

SITE DATA TABLE	
LOT AREA	1. 8 AC. (60,050 SF)
CURRENT ZONING	BP - BUSINESS PARK
BUILDING AREA	13,535 SF
BUILDING HEIGHT	1 AND 5 STORIES
FLOOR AREA RATIO (FAR)	0.22/1
PERVIOUS AREA	8,116 SF
IMPERVIOUS AREA	51,714 SF
PARKING TABLE	
VEHICLE SALES: 1 SPACE PER 4,000 SF OF SITE AREA (60,050 SF)	
TOTAL PARKING REQUIRED:	16 SPACES (1 ADA)
TOTAL PARKING PROVIDED:	17 SPACES (2 ADA)

APPLICANT: CLAYMOORE ENGINEERING, INC.
 190 CENTRAL DR.
 SUITE #406
 BEDFORD, TX 76021
 PH: 817.281.0572
 FAX: 817.281.0574
 CONTACT: MATT MOORE, PE
 EMAIL: MATT@CLAYMOOREENG.COM

PREPARED BY: CLAYMOORE ENGINEERING, INC.
 190 CENTRAL DR.
 SUITE #406
 BEDFORD, TX 76021
 PH: 817.281.0572
 FAX: 817.281.0574
 CONTACT: MATT MOORE, PE
 EMAIL: MATT@CLAYMOOREENG.COM

ARCHITECT: WHN ARCHITECTS, PA
 4020 E. INDIAN SCHOOL ROAD
 PHOENIX, AZ 85018
 PHONE: 704.995.9952
 CONTACT: JIM HODGES

DEVELOPER: DRIVETIME AUTOMOTIVE GROUP, LLC
 4020 E. INDIAN SCHOOL ROAD
 PHOENIX, AZ 85018
 PHONE: 602.852.6600
 CONTACT: JP MARTIN
 EMAIL: JOHN.MARTIN@DRIVETIME.COM

SUBMITTAL DATE: 04/01/2015



PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
 CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 MATT MOORE
 P.E. No. 95813, Date 04/01/2015

CARVANA
 STATE HIGHWAY 121
 THE COLONY, TEXAS

SPECIFIC USE PERMIT
 SITE PLAN

DESIGN: BJK
 DRAWN: BJK
 CHECKED: MAM
 DATE: 04/01/2015

SHEET

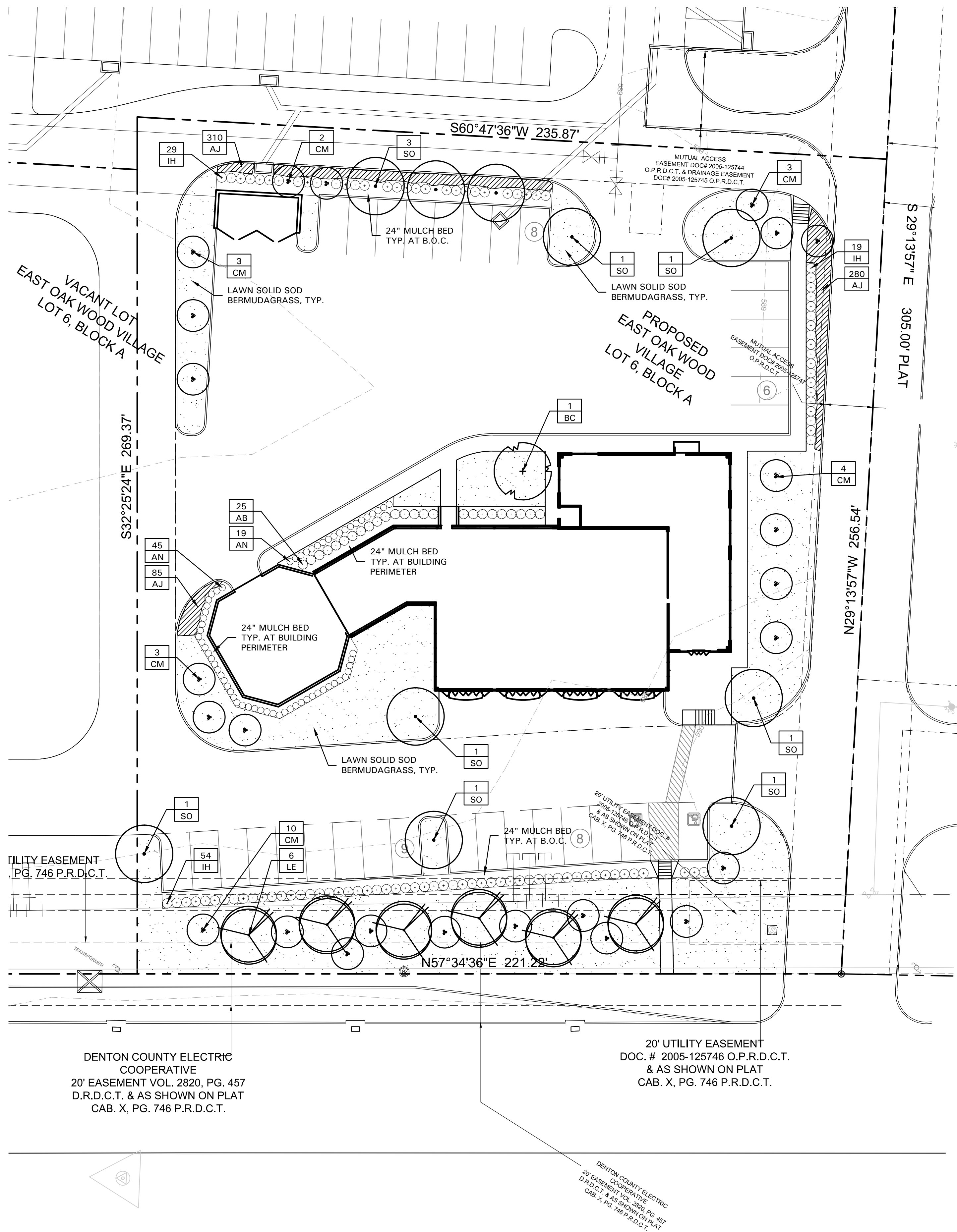
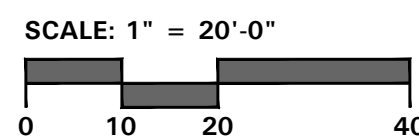
SUP-1

F:\N\2015-

The map shows the KHE-PAC area, which is a portion of the Klamath River watershed. Key locations include Yreka, Orick, Orland, and Orick Valley. Major roads shown are Highway 101 and Highway 162. The Klamath River is depicted as a dashed line, and Klamath Lake is shown to the west. A shaded area is highlighted near Orick, and a dashed line indicates the Klamath River boundary. The map also shows various communities and geographical features within the watershed.

4. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office



SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.
- 1.2 DESCRIPTION OF WORK
- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
- Planting (trees, shrubs and grasses)
 - Bed preparation and fertilization
 - Notification of sources
 - Water and maintenance until final acceptance
 - Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel and crushed stone. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
- The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
- B. Guarantee:

- Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.
 - The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
 - The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
 - Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.
- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
- Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
 - Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is to have located the materials necessary to complete the job as specified.
 - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 - Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions.

- do not measure from branch or root tip-to-tip.
- Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
 - Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
 - Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
- Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
 - Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.
- B. Delivery:
- Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
 - Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
 - Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
 - Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
 - Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
 - Remove rejected plant material immediately from job site.
 - To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

- specified at no additional cost to the Owner.
- Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature confirms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)
 - Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
- Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 - Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
 - Organic matter shall be 3%-10% of total dry weight.
 - If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.
- H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: 3/16" x 4" x 16" - dark green, DURAEDGE® steel landscape edging manufactured by The J.D. Russell Company under its trade name DURAEDGE Heavy Duty Steel.
- B. Staking Material for Shade Trees: refer to details.
- C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
- D. Filter Fabric: 'Mirafi Mirascape' by Mirafi Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.
- E. River Rock: 'Colorado' or native river rock, 2" - 4" dia.

- F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
- Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a two (2") inch layer of specified mulch.
 - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
- Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

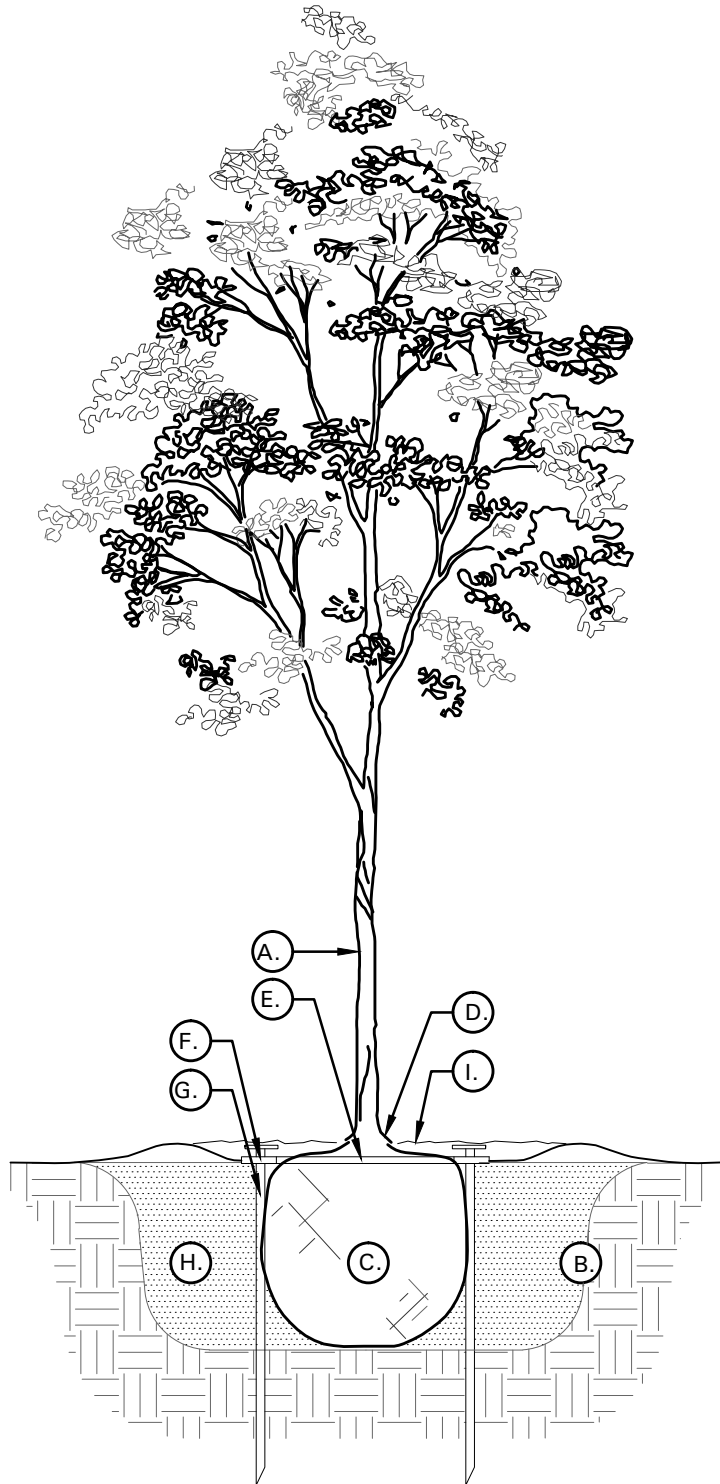
- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
- F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (¾") inch in diameter. Plants should be thoroughly moist before removing containers.
- G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per

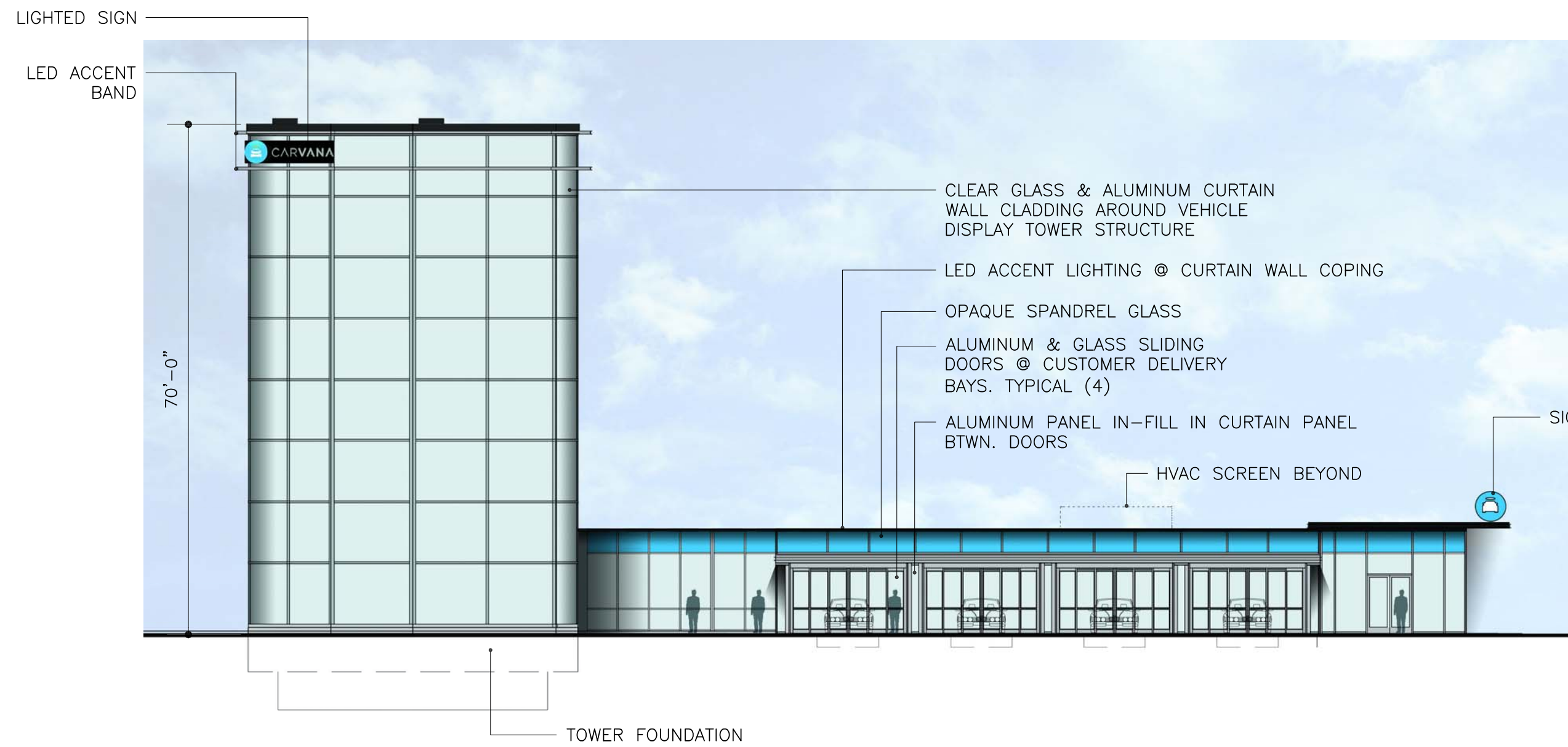
- tree planting detail as approved by the Landscape Architect if the percolation test fails.
- Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top ½ of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of 'root scoring'.
 - Do not wrap trees.
 - Do not over prune.
 - Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
 - All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
 - Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3") feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
 - Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
 - Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.
- Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
 - Pruning shall be done with clean, sharp tools.
 - Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.
 - Steel Curbing Installation:
 - Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
 - All steel curbing shall be free of kinks and abrupt bends.
 - Top of curbing shall be ½" maximum height above final finished grade.
 - Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
 - Do not install steel edging along sidewalks or curbs.
 - Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

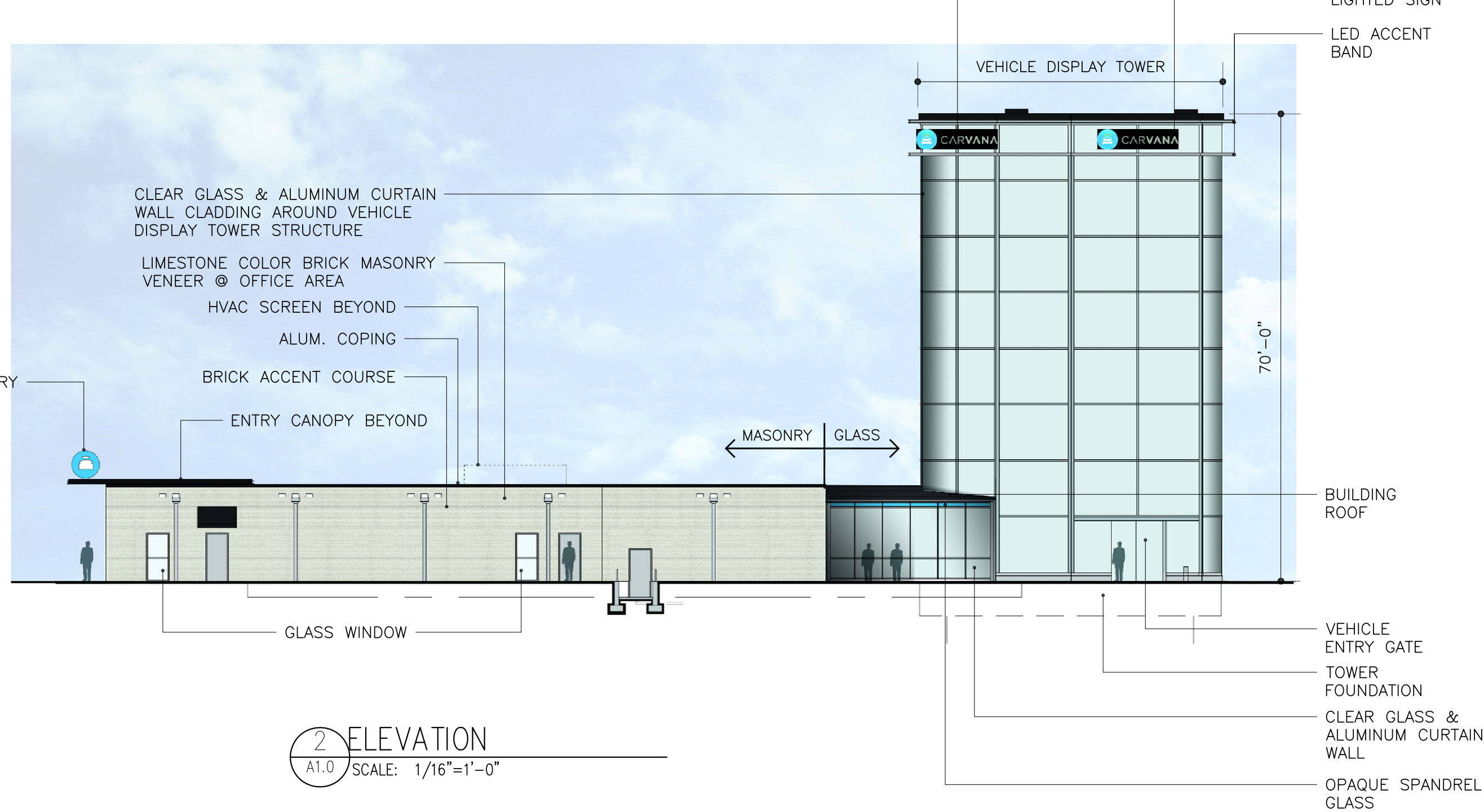
- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

END OF SECTION

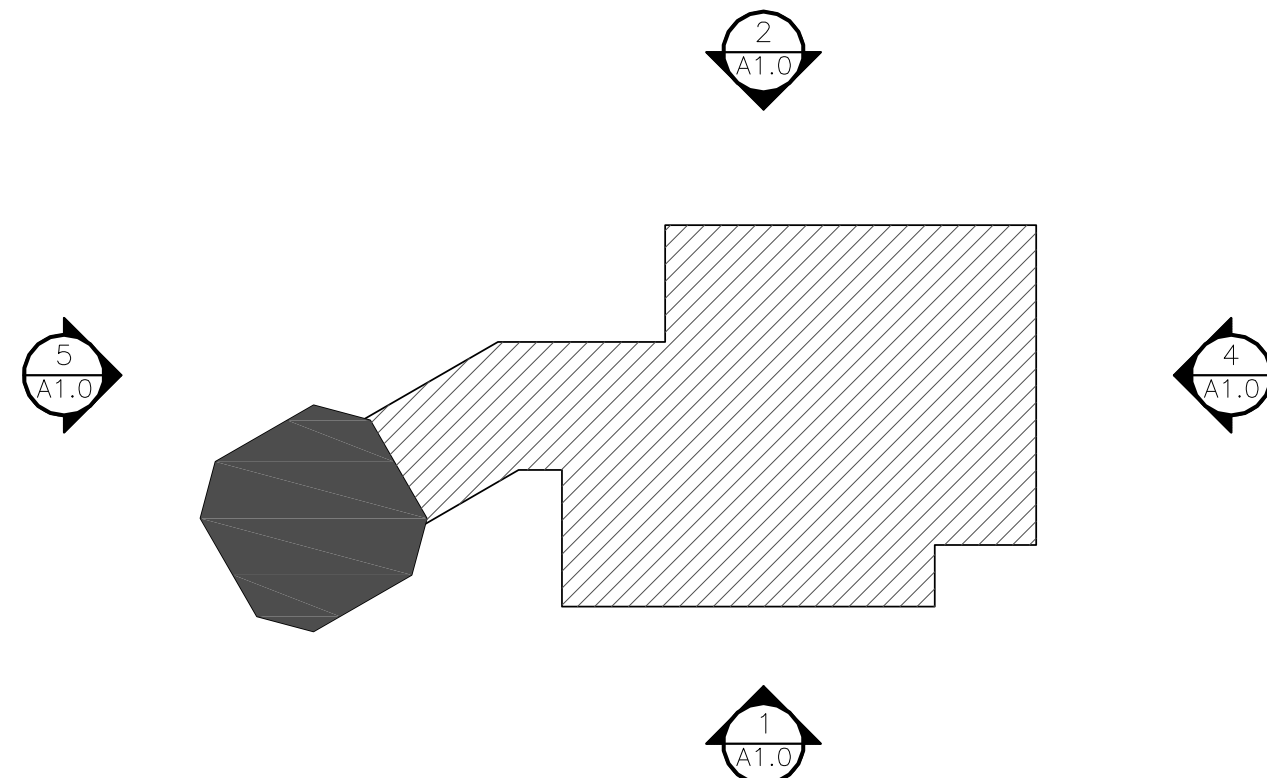




1 ELEVATION
A1.0 SCALE: 1/16"=1'-0"



2 ELEVATION
A1.0 SCALE: 1/16"=1'-0"



3 KEY PLAN
A1.0 SCALE: NOT TO SCALE

Exterior Wall Calculations

Building (Excluding Display Tower)

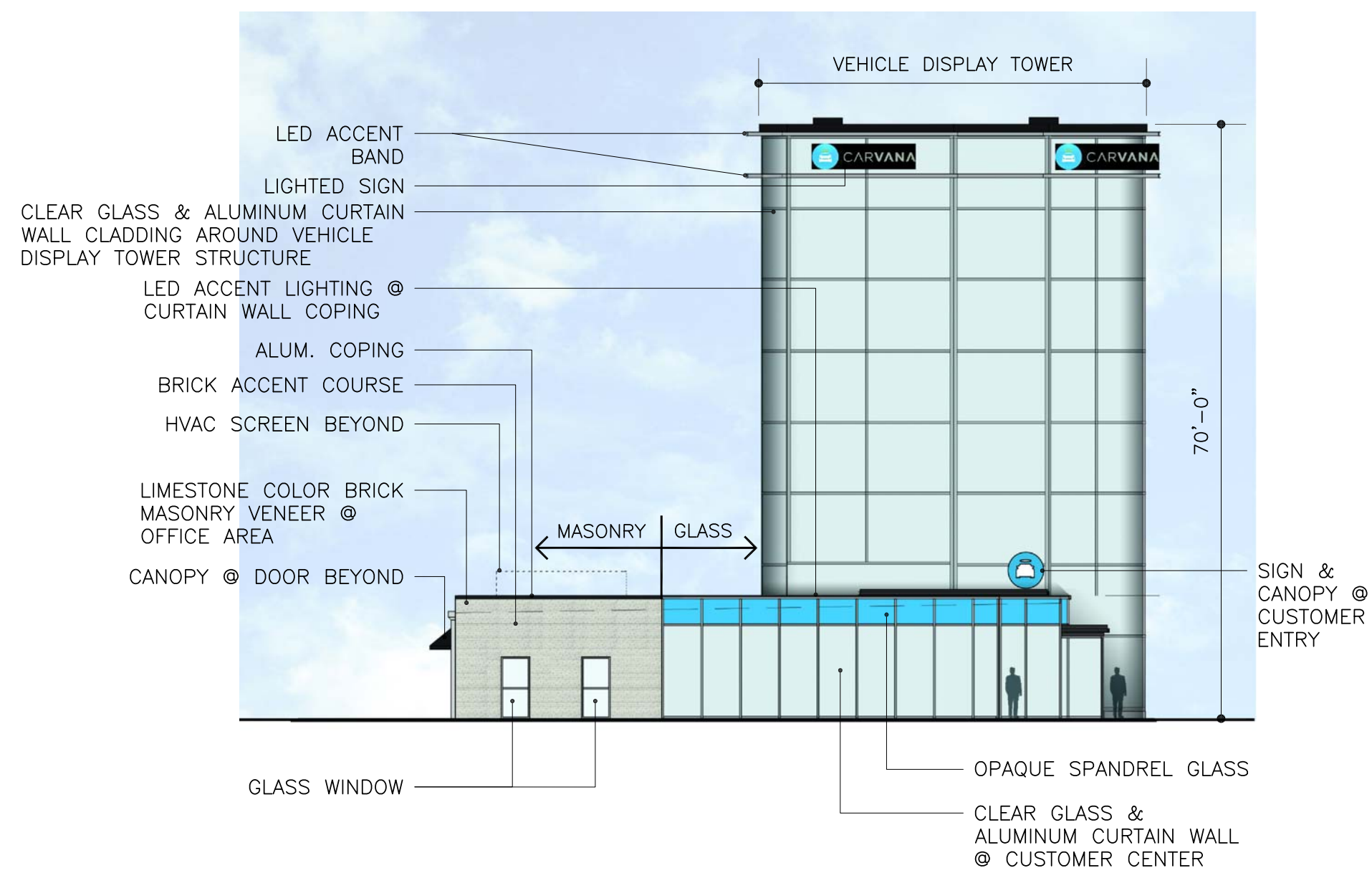
Brick Masonry : 2,199 sf
Glass/Curtain Wall : 3,265 sf
Total Exterior Wall Area: 5,464 sf

% of wall area masonry: 40%

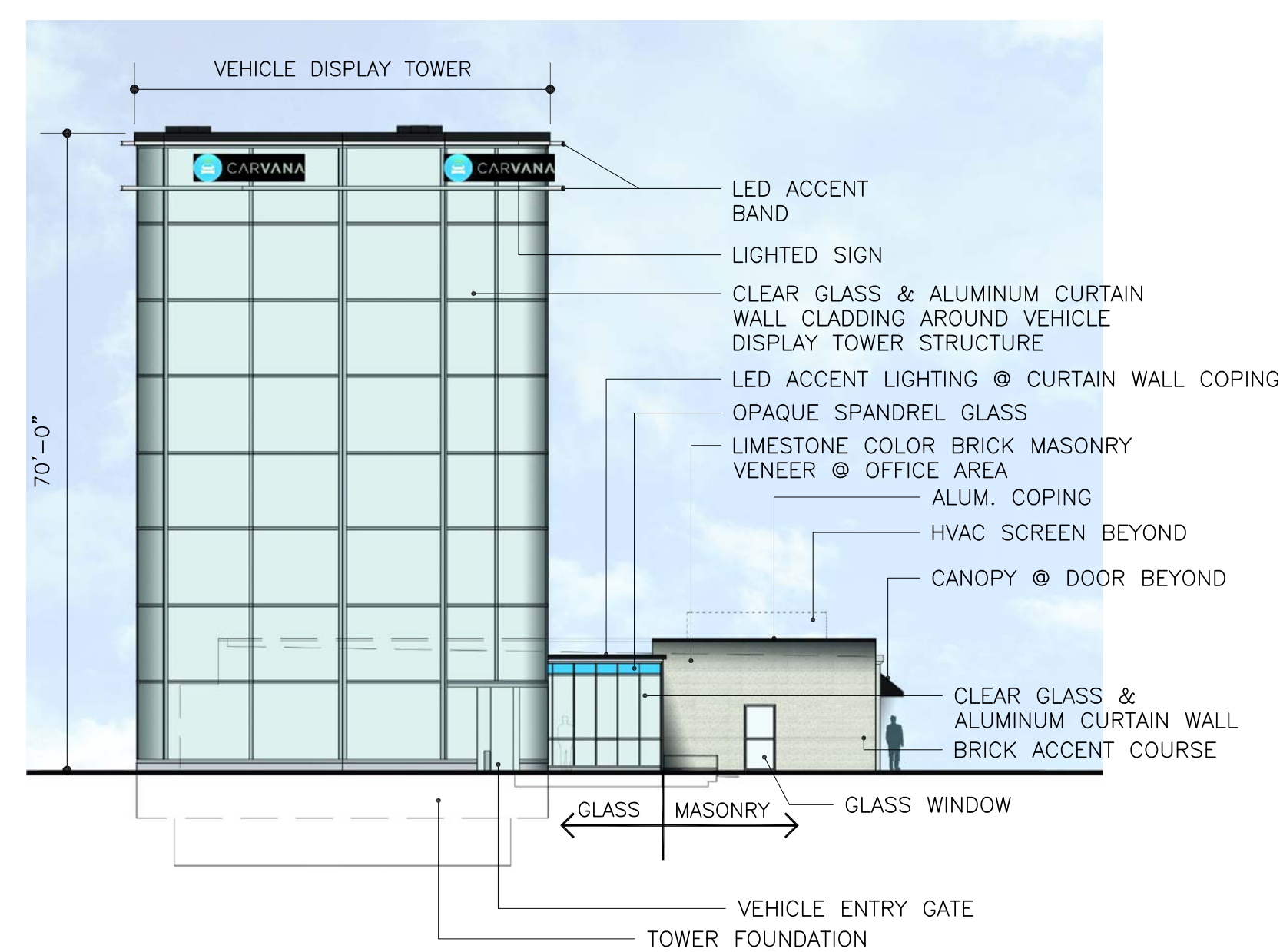
Building (Including Display Tower)

Brick Masonry : 2,199 sf
Glass/Curtain Wall : 12,468 sf
Total Exterior Wall Area: 14,667 sf

% of wall area masonry: 15%

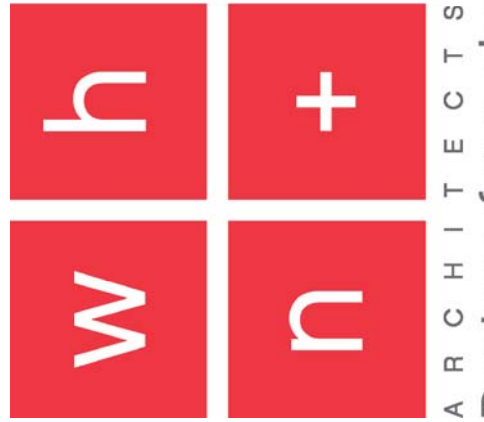


4 ELEVATION
A1.0 SCALE: 1/16"=1'-0"



5 ELEVATION
A1.0 SCALE: 1/16"=1'-0"

330 W. 10th Street
Charlotte, NC 28202
704.333.9952 phone
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CONSTRUCTION

PROJECT:
CARVANA
PROTOTYPE
THE COLONY, TX

Project:

Project No. 15104.08

Date Issued: 04.01.2015

Revisions:

RENDERED
ELEVATIONS

Sheet Title

PROJECTPROGRESS

A1.0

Sheet Number #OF OF OF#

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PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: May 12, 2015

DEPARTMENT: Engineering/Development Services Department

PLANNER: Surupa Sen, Senior Planner, 972-624-3164

SUBJECT: *SI14-0019 Zoning Ordinance Text Amendments*

Conduct a public hearing, discuss and consider making a recommendation to City Council on a text amendment for revisions to Zoning Ordinance – Section 13: Vehicular Parking, Parking Lot and On-Site Traffic Regulations, Table 13-100 - Off Street Parking Schedule to revise the required parking ratios for certain land uses.

This item was continued from the April 14, 2015 Planning and Zoning Commission meeting. Due to a current project requiring parking ratio update, staff is proposing revisions to the Restaurant, Convenience Store and Hospital Parking ratios. Staff will re-notify the public and bring back the High School parking ratio for future consideration pending further research.

STAFF ANALYSIS

Staff is requesting a change in the parking ratios for certain types of restaurants listed in Table 13-100 “Off-Street Parking Schedule.” Staff also looked at other land use categories and analyzed if any parking ratio needs updating. The table below shows the current parking ratios for restaurants, taken from Table 13-100, adopted by City Council on May 7, 2014:

Current Parking Ratios		
Use Category	Specific Uses (ITE Land Use Number)	Minimum Number of Spaces
Restaurants	Coffee/Donut shop with drive-thru window (937)	8.4 spaces per 1,000 SF of GFA
Restaurants	Restaurant, Sit Down/ Quality (1 hour or longer turnover)(931)	20.2 spaces per 1,000 SF of GFA 1 space per 100 SF of GFA
Restaurants	Restaurant, Sit Down/High Turnover (1 hour or less) (932)	14.3 spaces per 1,000 SF of GFA 1 space per 100 SF of GFA
Restaurants	Restaurants, Drive-Up	5.0 spaces in addition to service bays
Restaurants	Restaurants, Limited Service/Fast Food with drive-thru (934)	1.0 space per 150 SF of GFA with a 4 space minimum + required stacking spaces

Staff conducted research on other neighboring cities’ parking regulations for restaurant uses. In order to compare “apples-to-apples,” staff calculated the required parking for a typical 4,000 square foot (SF) restaurant. The following chart illustrates the findings.

Parking Ratio Comparison			
<i>City</i>	<i>Type of Restaurant</i>	<i>Parking Ratio</i>	<i>Parking required for a typical 4,000 square foot restaurant</i>
The Colony	Proposed ratio	1 space per 100 SF	40 spaces
	Sit down/low turnover	20.2 spaces per 1,000 SF	81 spaces (HIGH)
	Sit down/high turnover	14.3 spaces per 1,000 SF	58 spaces
Plano	All restaurants	1 space per 100 SF	40 spaces
Denton	All restaurants	1 space per 100 SF	40 spaces
Frisco	Restaurants, stand alone	1 space per 100 SF	40 spaces
	Restaurant within a shopping center	1 space per 200 SF (same as retail)	20 spaces (LOW)
	Restaurant with club	1 space per 175 SF	23 spaces
Carrollton	Full Service	1 space per 125 SF	32 spaces
	Limited Service	1 space per 150 SF	28 spaces
McKinney	All restaurants	1 space per 150 SF	28 spaces
Lewisville	All restaurants w/o bars	1.5 space per 100 SF	60 spaces
	All restaurants with bars (assumes bar is 10% of restaurant)	1 space per 100 SF + 1 space per 10 SF in bar area	36 (restaurant) + 40 (bar) 76 total spaces

By eliminating the restaurants with bars or clubs and restaurants that are located within shopping centers, the number of required parking spaces required range from a high of 81 spaces (The Colony for low-turnover, higher quality restaurants, such as Cheddar's) to a low of 28 parking spaces (McKinney and Carrollton). The City of Frisco allows the lowest parking ratio overall for those restaurants within shopping centers at 1 space per 200 SF or 20 spaces in this scenario, which is the same parking ratio for retail uses.

The proposed rate of 1 Space per 100 SF of Gross Floor Area (GFA) would require 40 parking spaces in the quoted 4,000 SF restaurant scenario. That would match the cities of Denton, Frisco and Plano and land near the middle of the other cities' requirements.

Staff has also heard from many developers that they prefer the 1 Space per 100 SF of Gross Floor Area (GFA) standard of parking for restaurants. The current restaurant parking ratio was adapted from the Institute of Transportation Engineers (ITE) and in the staff's opinion, would result in an over-parking situation for most restaurants.

Staff has reviewed the parking ratio for each of the land use category with neighboring cities. For example in the Hospital land use category, the following parking ratios were studied.

Parking Ratio Comparison- Hospital			
City	Specific Use	Parking Ratio	Required Per 100 beds
The Colony	Proposed ratio	1 Space per employee on the largest shift + 1½ spaces per bed	150+ employees
	Hospital	4.7 spaces per bed (Current Ratio)	470
Plano	Hospital	1 space for every 2 beds	50
Denton	Hospital	2 spaces per patient bed	200
Frisco	Hospital	1 space per employee on the largest shift + 1 ½ spaces per each bed	150
Carrollton	Hospital	1 space per bed	100
McKinney	Hospital	1 space per bed	100
Lewisville	Hospital	1 space per bed + additional as required for other categories	100
Little Elm	Hospital	1 space per bed + 1 space per employee on the largest shift	100

To compare the different standards, staff converted the parking requirements into what would be required for a 100 bed hospital. The results show that The Colony parking requirements are highest compared to Frisco, Denton, Carrollton, Lewisville or Little Elm. Plano has the lowest parking requirement for hospitals. Staff recommends revising the Hospital Parking Ratio to 1 Space per employee on the largest shift + 1½ spaces per bed. This will provide the required additional parking for emergency room visitors, medical offices within the hospital, and employee parking.

For a Convenience Store, parking requirements were converted to what would be required for 10,000 SF of Gross Floor Area and following illustrates the results:

Parking Ratio Comparison- Convenience Store/Retail Sales & Service			
City	Specific Use	Parking Ratio	Parking per 10,000 SF
The Colony	Convenience store (Proposed parking ratio)	1 per 200 SF GFA	50
	Convenience Store with fuel pumps (Current Ratio)	13 spaces per 1000 SF GFA	130
	Retail or Shopping Center	Up to 50,000SF in area-1 space per 200 SF Greater than 50,000 SF-1 space per 250 SF	50
Denton	Business, General Retail	1 space per 300 SF GFA Furniture & Appliances-1 space per 750 SF GFA	33
Frisco	General Retail	1 space per 200 SF GFA	50

Carrollton	Retail, multiple use shopping center, grocery store, personal business, or professional service or use	1 space per 250 SF for 0-50,000 SF of total building floor area 1 space per each 250 SF of floor area 1 space for each 300 SF with max parking of 1 space for each 250 SF for greater than 50,000 SF	40
McKinney	Convenience Store with or without fuel pumps	1 space per 250 SF of floor area with a minimum of 5 spaces	40
Lewisville	Retail Store or Personal Service	10 spaces per 1,000 SF for 0-2,499 SF; 7.5 spaces per 1,000 SF for 2,500-9,999 SF; 5.5 spaces per 1,000 SF for 10,000-599,999 SF; 5.0 spaces per 1000 SF for 600,000 SF and over	55
Little Elm	Retail or Personal Service	1 space per 200 SF of floor area	50

The Colony current requirement for Convenience store parking would require a 10,000 SF store to have 130 parking spaces which is the highest on this list. The neighboring Cities have numbers varying from 33 to 55 spaces. 1 parking space per 200 SF of Gross Floor Area will bring the parking requirement comparable to what other cities require and what applicants have been requesting.

The rest of the land use categories have parking ratios comparable to neighboring cities and all the parking ratios for The Colony which are based on Institute of Transportation Engineers (ITE) Parking Manual.

Staff has also reviewed parking ratios for other land use categories and proposes the following revisions.

Use Category	Proposed Ratio
Group Living	No Change
Care Facilities	No Change
Community Services	No Change
Hospital	1 Space per employee on the largest shift + 1½ spaces per bed.
Religious Institutions	No Change
Schools	High School: Pending further research
Recreation Indoor	No Change
Recreation Outdoor	No Change
Vehicle Uses	No Change
Clinic	No Change
Office	No Change
Retail Sales and Services	Convenience Store: 1 per 200 GFA
General Light Industrial	No Change
Manufacturing, Assembly, Fabrication and Internet Retail Distribution	No Change
Material Recycling Center	No Change
Warehouse, Wholesale Sales or Freight Movement	No Change

NOTIFICATION

Text revisions to ordinances require newspaper notification with a minimum of ten (10) days prior to the Planning and Zoning Commission meeting. The Planning and Zoning legal notice was published in *The NeighborsGo* on May 1, 2015. No comments either for or against the proposed revision were received as of the printing of this packet.

ORDINANCE REVIEW COMMITTEE (ORC)

ORC met on April 6, 2015 to review and discuss the parking ratio. The ORC is in agreement with the suggested changes.

PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: May 12, 2015

DEPARTMENT: Engineering/Development Services Department

PLANNER: Surupa Sen, Senior Planner, 972-624-3164

SUBJECT *SP14-0022, Brazos Electric Power Cooperative – Electrical Substation Development Plan*

Discuss and consider making a recommendation to City Council on a request for Development Plan to allow an electrical substation facility known as the Josey Substation on 10.445-acres of land located near the northwest corner of Plano Parkway and Windhaven Parkway, approximately 100-feet North of Windhaven Parkway in Planned Development 22 (PD-22 – Austin Ranch) zoning district.

OWNER/ENGINEER

Owner/Developer:	Brazos Electric Power Cooperative	Waco, Texas
Engineer/Surveyor:	Kimley-Horn and Associates	Dallas, Texas

EXISTING CONDITION OF PROPERTY

The property is currently undeveloped.

PROPOSED DEVELOPMENT

Applicant is proposing an electrical substation facility called Josey Subststion on 10.445-acres of land.

ADJACENT ZONING AND LAND USE

North - Planned Development District (PD-22) – undeveloped land

South - Planned Development District (PD-22) – undeveloped land, Windhaven Parkway and Boathouse across Windhaven Parkway

East- Planned Development District (PD-22) – Plano Parkway and undeveloped land across Plano Parkway

West- Planned Development District (PD-22) – undeveloped land

DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW

The Development Review Committee (DRC) finds the Development Plan meets the requirements of the PD-22 Ordinance as outlined in the Staff Report.

ATTACHMENTS

1. Staff Analysis
2. Location Map
3. Proposed Site Plan
4. Proposed Landscape Plan

ATTACHMENT 1

Staff Analysis

Summary of Request

Applicant is proposing an electrical substation facility called Josey Subststion on 10.445 acres of land.

Existing Condition of Property

The subject property is undeveloped.

Platting Status

Property is unplatted.

Adjacent Zoning/Land Use

North - Planned Development District (PD-22) – undeveloped land

South - Planned Development District (PD-22) – undeveloped land, Windhaven Parkway and The Boathouse multiple family housing development located across Windhaven Parkway

East- Planned Development District (PD-22) – Plano Parkway and undeveloped land across Plano Parkway

West- Planned Development District (PD-22) – undeveloped land

Land Use Analysis

The proposed electrical substation is not an allowed land use within the Planned Development 22 (PD-22) zoning district. Texas courts have concluded a public utility provider with the power of eminent domain has a degree of control in deciding where they can locate their facilities. It is not absolute. Further, a City in the exercise of its police powers can require the public utility provider to meet certain zoning ordinance standards.

This electrical substation is needed to serve the area generally bounded on the East by Josey Lane/FM 423; on the West by the Railroad track, and; along the State Highway 121 corridor. The substation will serve approximately 400-acres and 3.9 million square feet of retail development associated within the Grandscape development in The Colony. The known Grandscape developments to date include the Nebraska Furniture Mart, Hampton Inn and Suites, Homewood Suites, Cheddar's Causal Café, Hard Eight BBQ, Mi Cocina, and the Rock & Brews restaurants. With the tremendous amount of growth in this area, CoServ has indicated to the staff that existing facilities will not have sufficient capacity to serve the loads in the near future without the addition of this substation. The substation will also provide increased reliability for the areas currently served by CoServ in The Colony, the Hebron/Castle Hills area, and west Plano by providing an additional source for distribution lines in the area.

Infrastructure Improvements

No specific public infrastructure improvements are planned for this area. The substation will require minimal use or additions to existing public facilities. An 1½ inch irrigation line will be installed from the site to an existing 12 inch water main along the East side of Plano Parkway. There is an existing 12 inch wastewater line along the Western edge of the property that will not be disturbed. This site will allow for future public utility improvements within the existing 30 foot utility easement.

Circulation and Parking

The electrical substation facility will involve switching, projection and control equipment, transformers, along with several other types of equipment, required to transformer high voltage power from the transmission system to a reduced voltage level suitable for the local distribution of electric power.

This electrical substation is an unmanned facility. Automated supervision and control of the substation from a remote centrally attended location has become economically necessary as the complexity of the transmission and distribution networks grow.

The site is accessed from Plano Parkway through a driveway. No paved parking is proposed on site. The substation property is proposed to be covered in gravel. A five-foot (5') wide concrete sidewalk has been provided along Plano Parkway.

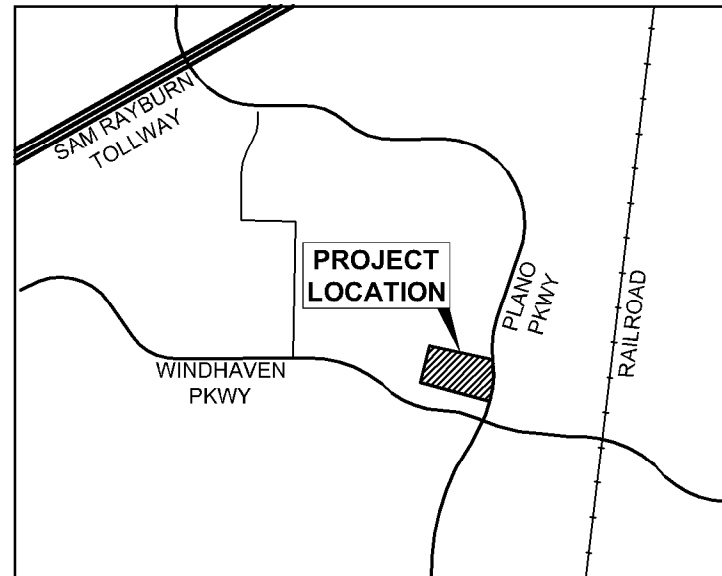
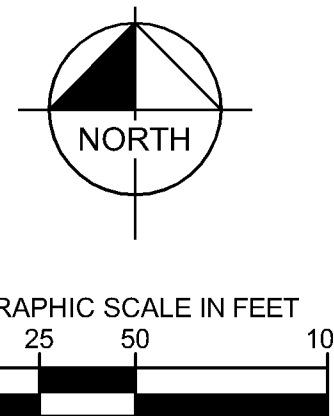
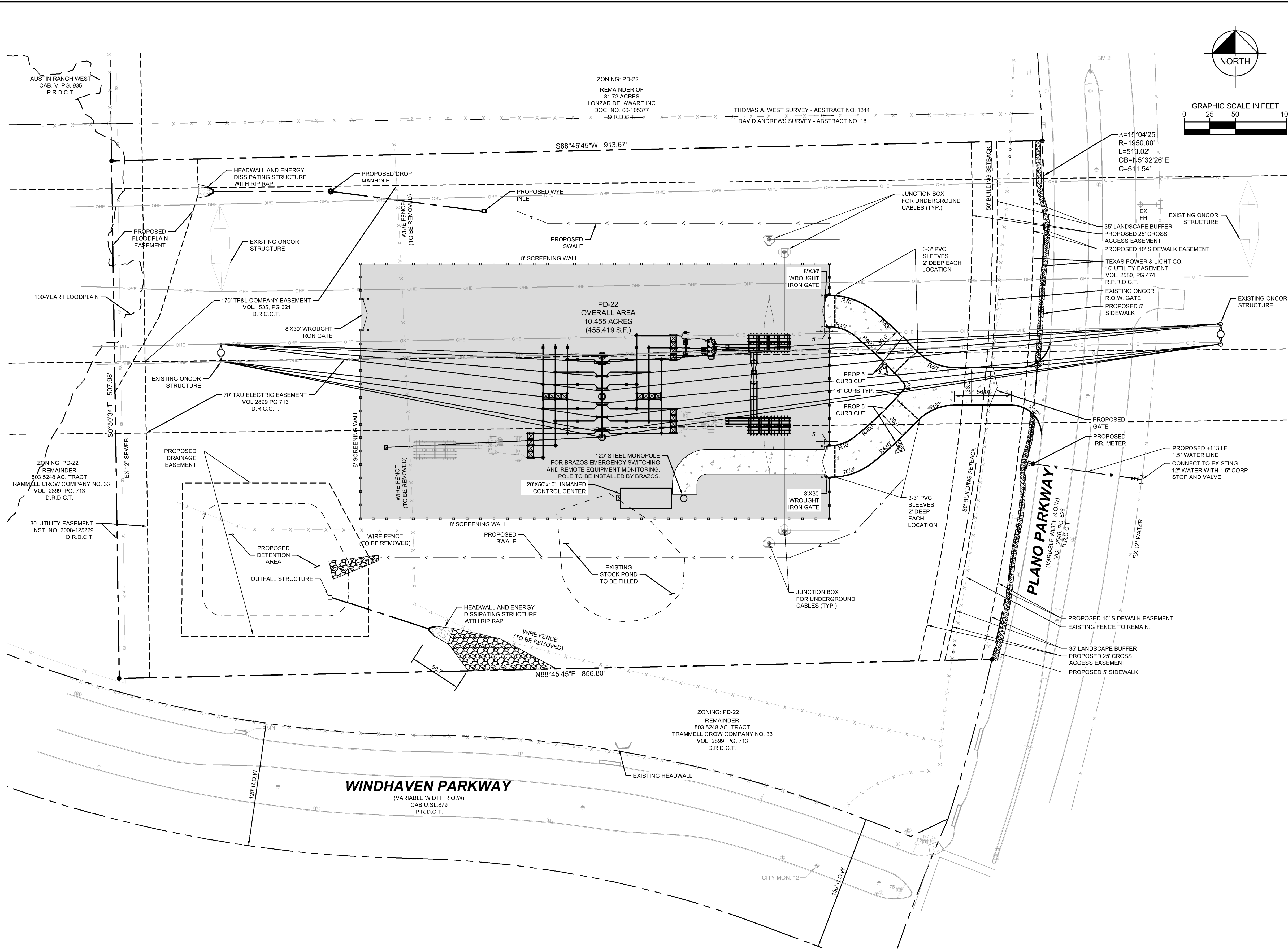
Landscaping and Irrigation

The site is landscaped with Live Oak and Bald Cypress trees. One tree per 50 LF, a total of 10 trees has been provided on Plano Parkway as required by PD-22. As per City of Colony Landscape Section 17A-300, twenty percent (20%) of street yard area has been landscaped. Forty (40) trees have been provided to landscape the street yard along Plano Parkway. Additional trees have been added along Windhaven Parkway to increase visual screening of the proposed site. In order to satisfy the Landscape requirement, three (3) shrubs per 10 linear feet, and 47 Burford Holly shrubs are proposed to be provided along Plano Parkway.












Development Review Committee Review

The Development Review Committee (DRC) finds that the Development Plan meets applicable requirements of the PD-22 Ordinance and the Zoning Ordinance, therefore the DRC recommends approval.

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kinley-Horn and Associates, Inc. shall be without liability to Kinley-Horn and Associates, Inc.



LEGEND

- | | |
|---|----------------------------|
|  | PROPERTY LINE |
|  | EXISTING FENCE |
|  | PROPOSED 8" SCREENING WALL |
|  | EXISTING SWALE |
|  | EXISTING WATER |
|  | PROPOSED WATER |
|  | EXISTING SANITARY SEWER |
| | |
|  | PROPOSED CONCRETE PAVEMENT |
|  | PROPOSED GRAVEL PAVEMENT |
|  | PROPOSED RIPRAP |
|  | PROPOSED SIDEWALK |

SITE DATA SUMMARY TABLE

ZONING (from zoning map)	PD-22
LAND USE	SUP FOR ELECTRICAL SUBSTATION
LOT AREA / SQ. FT. AND AC	455.419 SQ. FT. 10.455 AC
BUILDING AREA (gross square footage)	N/A
BUILDING HEIGHT (ft and number of stories)	N/A
FLOOR-AREA RATIO (FAR)	N/A
TOTAL PARKING REQUIRED (with ratio)	N/A
TOTAL PARKING PROVIDED (with ratio)	N/A

BENCHMARKS

CITY MON 12 3 1/4" ALUMINUM DISK FOUND
IN CONCRETE IN THE MEDIAN OF WINDHAVEN
PARKWAY, 6.8' NORTH OF THE SOUTH MEDIAN
CURB AND 96.7' WEST OF THE WEST MEDIAN
NOSE AT THE INTERSECTION OF PLANO
PARKWAY.

ELEV=545.45

BM 1 [X] SET ON THE NORTHEAST CORNER
OF A CURB INLET 809.4' WEST OF THE
INTERSECTION OF THE NORTH R.O.W. LINE OF
WINDHAVEN PARKWAY AND THE WEST R.O.W.
LINE OF PLANO PARKWAY.

ELEV=549.28

BM 2 [X] SET ON THE NOSE OF A MEDIAN IN
PLANO PARKWAY 852' NORTH OF THE
INTERSECTION OF THE NORTH R.O.W. LINE OF
WINDHAVEN PARKWAY AND THE WEST R.O.W.
LINE OF PLANO PARKWAY.

ELEV=577.53

APPROVED BY THE CITY COUNCIL ON THE
DAY OF 20 .

PLANNING DIRECTOR

SITE PLAN
JOSEY SUBSTATION

Being 10.455 Acres Out Of The
David Andrews Survey
Abstract No. 18
City of The Colony, Denton County, Texas
City Project No. SP14-0022
Submitted February 25, 2015
Resubmitted MAY 5, 2015

Owner/Applicant	Engineer/Surveyor:
Brazos Electric Cooperative, Inc.	Kimley-Horn and Associates, Inc.
7616 Bagby Ave	12750 Merit Drive, Suite 1000
Waco, TX 76712	Dallas, Texas 75251
Contact: Mark Buckingham	Contact: Sarah Williamson P.E.
Phone: 254-750-6761	Phone: (972)776-1778

[illegible]

Kimley»»Horn

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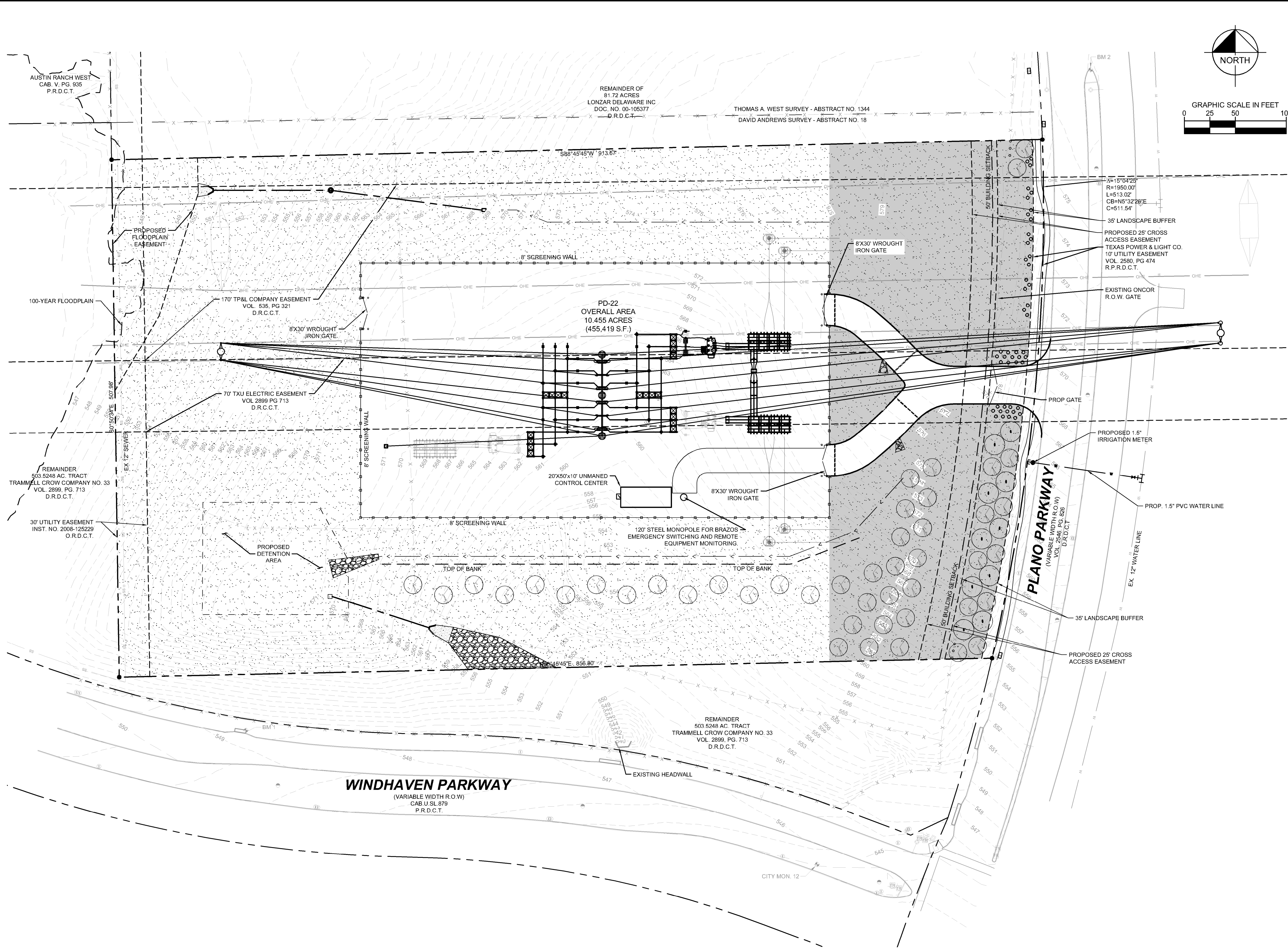
KHA PROJECT	DATE
064402104	4/17/2015
SCALE	AS SHOWN
DESIGNED BY	SECC
DRAWN BY	SECC
CHECKED BY	STW

JOSEY SUBSTATION
WINDHAVEN PARKWAY
CITY OF THE COLONY
DENTON COUNTY, TEXAS

SITE PLAN

SHEET NUMBER
SP-01

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BENCHMARKS

CITY MON 12 3 1/4" ALUMINUM DISK FOUND
IN CONCRETE IN THE MEDIAN OF WINDHAVEN
PARKWAY, 6.8' NORTH OF THE SOUTH MEDIAN
CURB AND 96.7' WEST OF THE WEST MEDIAN
NOSE AT THE INTERSECTION OF PLANO
PARKWAY.

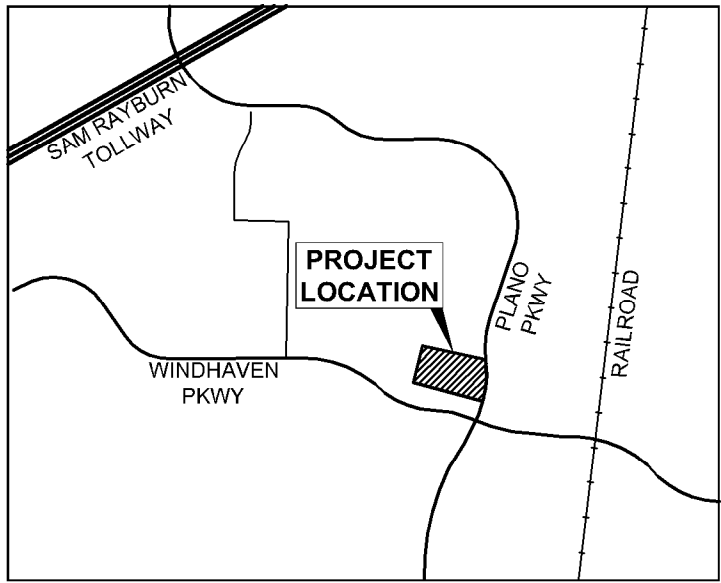
ELEV=545.45

BM 1 "X" SET ON THE WEST CORNER
OF A CURB INLET 809.4' WEST OF THE
INTERSECTION OF THE NORTH R.O.W. LINE
OF WINDHAVEN PARKWAY AND THE WEST R.O.W.
LINE OF PLANO PARKWAY.

ELEV=549.28

BM 2 "X" SET ON THE NOSE OF A MEDIAN IN
PLANO PARKWAY 852.2' NORTH OF THE
INTERSECTION OF THE NORTH R.O.W. LINE
OF WINDHAVEN PARKWAY AND THE WEST R.O.W.
LINE OF PLANO PARKWAY.

ELEV=577.53



LOCATION MAP
N.T.S.

LEGEND

PROPERTY LINE

EXISTING CONTOUR

EXISTING FENCE

PROPOSED 8' MASONRY SCREENING WALL

EXISTING WATER

PROPOSED WATER

EXISTING SANITARY SEWER

STREET YARD AREA (16.81 SF)

SEED/SOD

PROPOSED 3" CALIPER LIVE OAK

PROPOSED 2" CALIPER BALD CYPRESS

PROPOSED BURFORD HOLLY

NOTES

1. ALL LANDSCAPING IS TO BE IRRIGATED IN ACCORDANCE WITH CITY STANDARDS.
2. ALL IRRIGATION SYSTEMS ARE TO BE FITTED WITH RAIN AND FREEZE GAUGES IN ACCORDANCE WITH CITY STANDARDS.
3. NO TREES ON SITE ARE LARGER THAN 10 INCHES IN CALIPER.

LANDSCAPE DATA TABLE

PD-22 REQUIREMENTS		
	REQUIRED	PROVIDED
1 TREE (3" CAL) PER 50 LF PLANO PKWY: 468 LF / 50 LF	10 TREES	10 TREES
SECTION 17A LANDSCAPE REQUIREMENTS		
	REQUIRED	PROVIDED
STREET YARD AREA	63,284 SF	63,284 SF
MINIMUM LANDSCAPE AREA (20% STREET YARD AREA)	16,657 SF	16,657 SF
*STREET YARD TREES:		
10 TREES PER FIRST 10,000 SF	10 TREES	10 TREES
1 TREE PER 2,500 SF THEREAFTER (83,284 SF-10,000 SF) / 2,500 SF	40 TREES	40 TREES
LANDSCAPE BUFFERING:		
BUFFER REQUIRED	20' WIDE	35' WIDE
1 TREE PER 40 LF OF STREET FRONTAGE: PLANO PKWY: 468 LF / 40 LF	12 TREES	12 TREES
3 SHRUBS PER 10 LF OF BUFFER: 468 LF / 10 LF	47 SHRUBS	47 SHRUBS

*ALL TREES MAY BE USED TO SATISFY THIS REQUIREMENT PER SECTION 17A-300.B

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WWW.KIMLEY-HORN.COM TX F-928

KHA PROJECT 064402104	DATE 4/17/2015
SCALE	AS SHOWN
DESIGNED BY	SEG
DRAWN BY	SEG
CHECKED BY	STW

JOSEY SUBSTATION
WINDHAVEN PARKWAY
CITY OF THE COLONY
DENTON COUNTY, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
SP-04

PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: May 12, 2015

DEPARTMENT: Engineering/Development Services Department

PLANNER: Surupa Sen, Senior Planner, 972-624-3164

SUBJECT: *SP15-0004, Corner Store Development Plan*

Discuss and consider making a recommendation to the City Council on a request for approval of a Development Plan for a 1.962-acre portion of Tract B-4 in Planned Development 16 (PD-16) for a 4,650 square foot convenience store with gasoline pumps, located on the southwest corner of South Colony Boulevard and Memorial Drive.

OWNER/ENGINEER

Owner/Developer:	Colony Five Partners	Atlanta, Georgia
Engineer/Surveyor:	CEI Engineering	Dallas, Texas

EXISTING CONDITION OF PROPERTY

The property is currently undeveloped.

PROPOSED DEVELOPMENT

Applicant is proposing a 4,650 square foot convenience store with fuel sales.

ADJACENT ZONING AND LAND USE

North - Planned Development District (PD-20) – LISD Aquatic Center
South - Planned Development District (PD-16) – Vacant Land
East- Planned Development District (PD-16) – Avana Stonebriar Apartments
West- Planned Development District (PD-14) – The Legends Single Family subdivision

DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW

The Development Review Committee (DRC) finds the Development Plan meets the requirements of the PD-16 Ordinance and the Gateway Overlay District as outlined in the Staff Report.

ATTACHMENTS

1. Staff Analysis
2. Location Map
3. Proposed Site Plan
4. Proposed Landscape Plan
5. Proposed Elevation

ATTACHMENT 1

Staff Analysis

Summary of Request

The applicant is proposing a 4,650 square foot convenience store with fuel sales on a 1.962-acre portion of Tract B-4 in PD-16 located on the southwest corner of South Colony Boulevard and Memorial Drive.

Existing Condition of Property

The subject property is undeveloped.

Platting Status

Property is unplatted.

Adjacent Zoning/Land Use

North - Planned Development District (PD-20) – LISD Aquatic Center

South - Planned Development District (PD-16) – Vacant Land

East- Planned Development District (PD-16) – Avana Stonebriar Apartments

West- Planned Development District (PD-14) – The Legends Single Family subdivision

Land Use Analysis

Land uses in the Business Park (BP) and General Retail (GR) zoning districts of Appendix A, Zoning Ordinance, of the Code of Ordinances are allowed within Tract B-4 of PD-16. The proposed Corner Store is in compliance with PD-16 and Appendix A, Zoning Ordinance of the City of The Colony. The Gateway Overlay Zoning District regulations also apply to this tract.

Gateway Overlay District Amenities

Section 10A-1000, Public Amenities and Standards requires for commercial developments greater than one (1) acre but less than five (5) acres in size incorporate one (1) public amenity. The one amenity can be chosen from the following list, as found in Section 10A-100 (a)(3) of the Gateway Overlay District:

- (A) Patio or Plaza with seating area;
- (B) Landscaped mini-parks, squares or greens;
- (C) Water feature; or
- (D) Outdoor public art.

The applicant has provided outdoor seating area to comply with this requirement.

The exterior building materials are 100% masonry, combination of brick, stone, and stucco to comply with Gateway Overlay District requirements.

Infrastructure Improvements

No specific public infrastructure improvements are planned for this area.

Circulation and Parking

The property will have direct access from South Colony Boulevard and Memorial Drive through two (2) driveways.

Table 13-100 Off Street Parking Schedule requires 1 parking space per 200 SF for convenience stores. The parking provided meets the specific requirements of Table 13-100 of Parking Section.

Parking Standard	Parking Required	Parking Provided
Parking calculation for The Corner Store: 1 space per 200 SF (4,650 SF)	23 spaces	27 spaces

Landscaping and Irrigation

The site is proposed to be heavily landscaped with Texas Ash, Texas Red Oak, Chinese Pistache, American Smoke Tree and shrubs of various types. More than 10% of vehicular area has been landscaped. One (1) large canopy tree per 400 SF of required interior landscape area has been provided, which totals 12 trees. Twelve (12) trees have been provided for frontage landscaping. A Monument sign has landscaping around it as well as, continuous evergreen shrub along parking lot adjacent to street frontage has been provided. The proposed Landscape Plan includes the required irrigation notations and meets the PD-16 and Gateway Overlay District landscaping requirements.

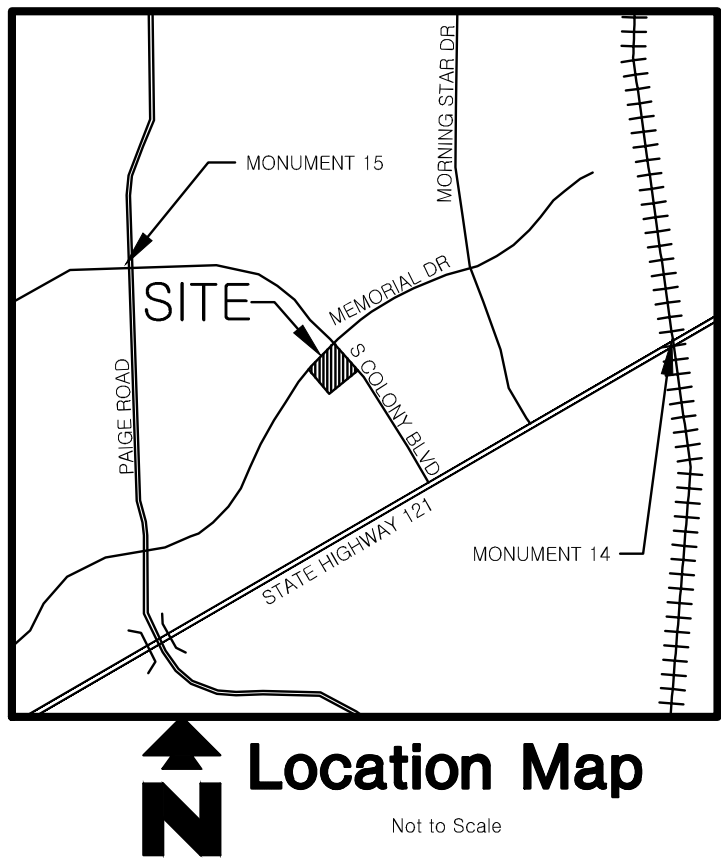
Gateway Landscaping Amenities Requirements

In addition, a development of this size (between one and three acres) in the Gateway Overlay District must provide additional landscaping amenities to meet the requirement of 15 Landscape Points. The applicant has provided the following landscaping amenities to meet this requirement:

Landscape Amenity	Amount of Amenity Required/ Amount of Amenity Provided	Points Earned
Stamped Concrete Crosswalks	2 location on site	5 points
5-foot or more landscape buffer given that required	10-foot width required/ 15-feet with provided	5 points
20% or more open space than required	4,506 SF required 31,117 SF provided	5 points
Total Points		15 points
























































Development Review Committee Review

The Development Review Committee finds that the Development Plan meets all applicable requirements of the PD-16 and the Gateway Overlay District, therefore recommends approval.



- GENERAL NOTES**
1. ALL PHASES OF WORK UNDER THIS CONTRACT SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE ITEMS OF THE STATE DEPARTMENT OF HIGHWAYS AND PUBLIC TRANSPORTATION SPECIFICATIONS AND LOCAL STANDARD SPECIFICATIONS FOR CONSTRUCTION. FINAL DECISIONS OR JUDGEMENTS ON MATTERS NOT SPECIFICALLY COVERED BY THE ABOVE DOCUMENTS SHALL BE MADE BY THE C&T PROJECT MANAGER.
 2. CONTRACTOR SHALL COMPLY WITH ALL LOCAL BUILDING CODES AND REGULATIONS, AS WELL AS OTHER SAFETY CODES AND INSPECTION PREVISIONS APPLICABLE TO THIS PROJECT.
 3. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS CONTRACT. EXCEPTIONS FROM LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
 4. BIDDERS ARE HEREBY NOTIFIED TO MAKE A THOROUGH REVIEW OF THE JOB SITE AND SOIL BORING INFORMATION PROVIDED BY OWNER. NO CHANGE IN PAYMENT SHALL BE MADE FOR ROCK, SAND, GRAVEL, OR OTHER UNSTABLE CONDITIONS ENCOUNTERED IN ANY WORK THROUGH THESE DRAWINGS.
 5. ALL WASTE MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND IT SHALL BE HIS SOLE RESPONSIBILITY TO DISPOSE OF THIS MATERIAL OFF THE LIMITS OF THE SITE TO PROPERTY WHERE THE CONTRACTOR HAS THE CONSENT OF THE OWNERS. NO WASTE MATERIALS SHALL BE PLACED IN EXISTING LOWS THAT WILL BLOCK OR ALTER THE FLOW LIMITS OF THE EXISTING NATURAL DRAINAGE.
 6. CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI UNLESS OTHERWISE SPECIFIED ON PLANS. ALL EXPOSED EDGES OF CONCRETE SHALL HAVE A 3/4 INCH CHAMFER. REINFORCING STEEL SHALL BE GRADE 60 MINIMUM.
 7. CONTRACTOR IS REQUIRED TO VERIFY PROJECT ELEVATIONS. STARTING ANY WORK CONSTITUTES THE APPROVAL OF THE EXISTING CONDITIONS SHOWN.
 8. EXISTING ABOVE GROUND UTILITIES HAVE BEEN PLOTTED BY DIRECT FIELD INVESTIGATION (ON SURVEY PERFORMED BY OTHERS). UNDERGROUND UTILITIES HAVE BEEN COMPILED FROM VARIOUS SOURCES AND REQUIRE VERIFICATION BY THE CONTRACTOR TO ESTABLISH LOCATION AND DEPTH PRIOR TO SETTING ANY FINISH CONCRETE GRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING ABOVE GROUND OR UNDERGROUND UTILITIES, INCLUDING THOSE NOT SHOWN ON DRAWINGS. DEAD UTILITY LINES SHALL BE SUITABLY CAPPED.
 9. ANY EXISTING SITE IMPROVEMENT OR UTILITY REMOVED, DAMAGED OR UNDERCUT BY CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE OWNER AND APPROVED BY THE RESPECTIVE UTILITY AT THE CONTRACTOR'S EXPENSE.
 10. FOR LOCATION OF UNDERGROUND ELECTRIC, GAS, TELEPHONE, AND WATER FACILITIES, CALL THE LOCAL UTILITY LOCATOR 48 HOURS BEFORE BEGINNING ANY EXCAVATION.
 11. WHEN SEWER LINES ARE INSTALLED IN THE VICINITY OF WATER MAINS, SUCH INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE DEPARTMENT OF HEALTH RULES AND REGULATIONS FOR PUBLIC WATER SYSTEM.
 12. (A) HEAD-IN PARKING PLACES SHALL BE 9' X 18' OR 9' X 20' WITH 4' WIDE YELLOW LINE (B) PARALLEL PARKING PLACES SHALL BE 10' X 22' STRIPPED WITH YELLOW PAINT.
 13. THE GENERAL CONTRACTOR SHALL PREPARE ALL LANDSCAPE AREAS INCLUDING THE RIGHT-OF-WAY AREA TO AN ACCEPTABLE SUBGRADE CONDITION AND ADD 8 INCHES OF TOPSOIL MATERIAL, 2 INCHES DOWN FROM BACK OF CURB AND FLOW LINES TO BE DRAINAGE DITCHES. THE REMAINING 6 INCHES OF TOPSOIL SHALL BE STOCKPILED FOR USE BY THE LANDSCAPER. LANDSCAPING OR SOO SHALL MATCH TOP OF CURB AND FLOW LINES.
 14. ALL DIMENSIONS ARE TO BE MEASURED FORM FACE OF CURB (UNLESS OTHERWISE SPECIFIED)
 15. GENERAL CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL TREES, INDICATED ON OR OFF THE SURVEY, WITHIN THE DESIGNATED LANDSCAPE AREAS OF THE SITE PLAN INCLUDING THE RIGHT-OF-WAY. TREES LOCATED WITHIN THESE LANDSCAPES ARE TO BE REVIEWED WITH THE LOCAL C&T ENGINEER CORP. AREA ENGINEER PRIOR TO REMOVING.
 16. FIRE APPARATUS ACCESS ROADS AND WATER SUPPLY FOR FIRE PROTECTION SHALL BE INSTALLED AND FUNCTIONAL PRIOR TO AND DURING CONSTRUCTION.
 17. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT FIRE APPARATUS ACCESS ROADS ARE MAINTAINED, UNOBSTRUCTED AND PASSABLE TO EMERGENCY EQUIPMENT AT ALL TIMES. THIS IS TO ENSURE THE SAFETY OF CONSTRUCTION WORKERS.


LEGEND

EXISTING		PROPOSED	
	GAS METER		WATER MANHOLE
	IRR. CONTROL VALVE		TRAFFIC SIGNAL POLE
	TELEPHONE PEDESTAL		TRAFFIC VAULT
	POWER POLE		SWB MANHOLE
	DOWN GUY		GAS MANHOLE
	S.S. MANHOLE		STORM DRAIN MANHOLE
	CLEAN OUT		VAULT
	SIGN		HANDICAP SPACE
	LIGHT POLE		FIRE HYDRANT
	TYPICAL FENCE		WATER METER
	CONCRETE		WATER VALVE
	GRAVEL		TRANSFORMER PAD
	BRICK		ELECTRIC METER
	A/C PAD		
	PROPERTY LINE/RIGHT OF WAY LINE		STORM DRAIN
	CONCRETE CURB AND GUTTER		SANITARY SEWER SERVICE (BY OTHERS)
	EASEMENT LINE		SANITARY SEWER SERVICE
	WATER SERVICE (BY OTHERS)		UNDERGROUND ELECTRIC AND TELEPHONE SERVICE
	CONCRETE SIDEWALK		CURB INLET
	PEDESTRIAN WALKWAY		GRATE INLET
	FIRE LANE		AREA INLET
	MEDIUM DUTY CONCRETE		JUNCTION BOX
	HEAVY DUTY CONCRETE		CONTROL POINT
	TANK SLAB		CLEAN OUT
			FIRE HYDRANT
			GATE VALVE
			AREA LIGHT
			TABLE SEATING
			GREASE TRAP
			SIGN
			WATER METER
			BACKFLOW PREVENTER

The minimum intensity for lighting must not exceed 25 foot-candles and the maximum intensity must not exceed 35 foot-candles per the City's Ordinance.

PRELIMINARY
NOT FOR
CONSTRUCTION


SITE DATA		
OVERALL SITE AREA	85,470 S.F.	1.962 Ac.
ZONING	PD-16 PLANNED DEVELOPMENT DISTRICT	
EXISTING BUILDING AREA	0.0 S.F.	0.0% OVERALL SITE AREA
EXISTING IMPERVIOUS AREA	0 S.F.	0.0% OVERALL SITE AREA
EXISTING PERVIOUS AREA	85,470 S.F.	100.0% OVERALL SITE AREA
PROPOSED USAGE	GENERAL RETAIL SALES AND SERVICES (CONVENIENCE)	
PROPOSED BUILDING AREA	4,650 S.F.	4.56% OVERALL SITE AREA
PROPOSED IMPERVIOUS AREA	48,687 S.F.	59.95% OVERALL SITE AREA
PROPOSED PERVIOUS AREA	32,133 S.F.	35.49% OVERALL SITE AREA
BUILDING HEIGHT	16' 3'-1/4"	
NUMBER OF STORIES	1	
TOTAL FLOOR TO AREA RATIO	0.054	
REQUIRED PARKING	1/200 SQ. FT. = 23 SPACES	
PROVIDED PARKING	29 (27 STANDARD, 2 HANDICAPPED)	



SITE BENCHMARK

Reference Benchmark:

Elevations shown herein are based on City of The Colony Benchmarks



• Monument No. 14: Aluminum Disk set in concrete 5' West of the concrete 16'-'rip around the West bound service road of State Highway No. 121 and the West bound through lanes of State Highway No. 121 over Burlington Northern-Santa Fe Railroad. Approximately 11,700' northeast of intersection of State Highway No. 423, elevation=838.91

• Monument No. 15: Aluminum Disk set in concrete at the Northwest corner of the intersection of Paige Road and Memorial Drive 2.6' South of the headwall / wingwall of the culvert structure and 16.4' from the southeasterly angle point of the headwall near Paige Road, elevation=884.10

APPROVED BY THE CITY COUNCIL ON THE _____ DAY
OF _____ 20____

PLANNING DIRECTOR



CEI Engineering Associates, Inc.

ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS
 3030 LBJ Freeway, Suite 100 (972)488-3737
 Dallas, TX 75234 FAX (972)488-6732

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EXISTING INFORMATION
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SURVEY PREPARED BY:
PEISER & MANKIN
SURVEYING, LLC
623 E DALLAS ROAD
GRAPEVINE, TEXAS
76051
TIMOTHY R. MANKIN,
R.P.L.S. #6122

REVISIONS					DRAWING REISSUE DATE	
NO.	DATE	DESCRIPTION	DRAWN	APP'D	ISSUE DATE	
					ISSUE DATE	
					ISSUE DATE	
					ISSUE DATE	
					ISSUE DATE	
					ISSUE DATE	



CORNER STORE
1577

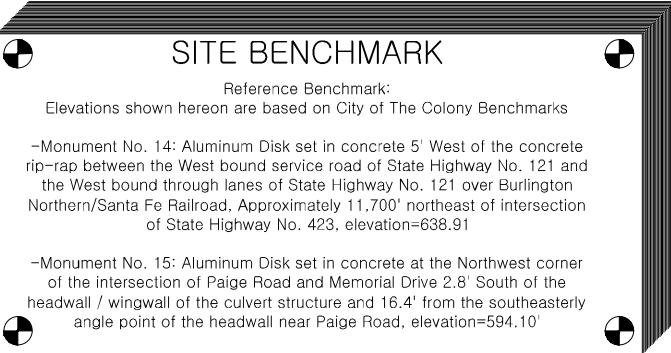
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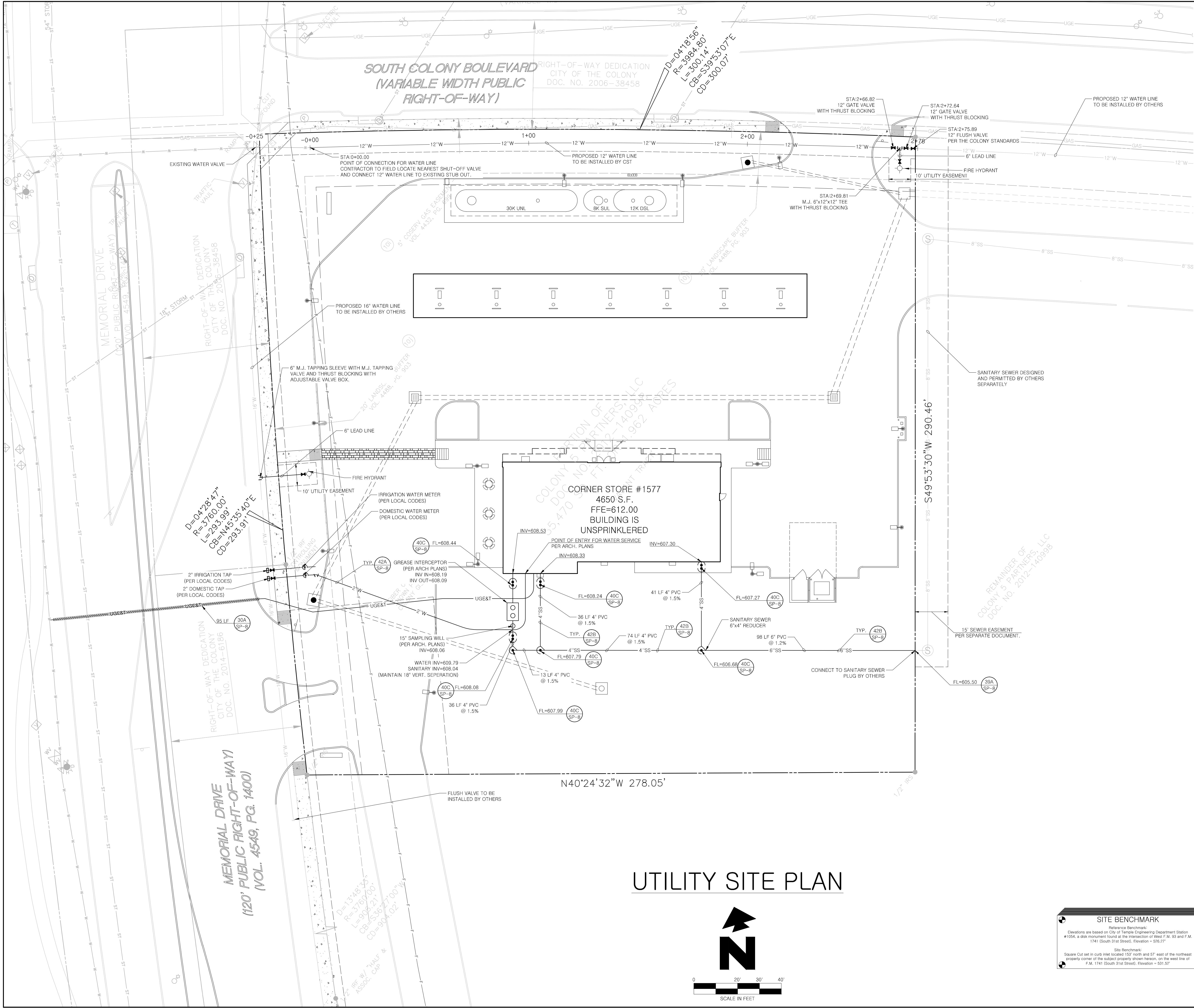
DIMENSIONAL SITE PLAN

COLONY DR & MEMORIAL DR
THE COLONY TX

SP-1.1































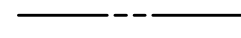

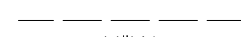



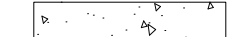

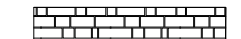
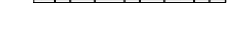






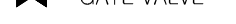


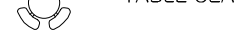

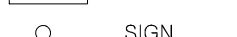

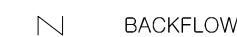

DAH



GRADING AND UTILITY PLAN KEY NOTES

1. REMOVE EXISTING SIGNS, STRUCTURES, PAVEMENT, ETC., AS PART OF THIS CONTRACT.
2. UTILITY POLES, GUY WIRES, ETC. SHALL BE RELOCATED AS PART OF THIS CONTRACT. COORDINATE WITH LOCAL UTILITY COMPANY.
3. PRIOR TO STARTING WORK, MAKE SUCH EXPLORATIONS AS ARE REQUIRED TO VERIFY DEPTH AND LOCATION OF EXISTING SANITARY SEWER LINE MARK SEWER LOCATION AND AVOID WITH NEW PIERS OR FOUNDATIONS.
4. PLACE 4-INCH DIAMETER SDR 35 SLEEVE UNDER CONCRETE FOR FUTURE IRRIGATION LINE. PLACE CAP ON THE ENDS OF THE P.V.C., BUT DO NOT GLUE ON THE CAPS.
5. COORDINATE WITH POWER COMPANY FOR UNDERGROUND CONDUIT TO ACCOMMODATE TELEPHONE IN COMMON TRENCH.
6. AN AGREEMENT WITH THE ADJOINING PROPERTY OWNER SHALL BE OBTAINED BY CST ENERGY CORPORATION FOR THE PURPOSE OF GRADING ON ADJACENT PROPERTY. THE CONTRACTOR SHALL NOT PROCEED WITH CONSTRUCTION WITHOUT AUTHORIZATION FROM CST'S FIELD REPRESENTATIVE.
7. CONTRACTOR SHALL ADJUST UTILITIES, I.E., MANHOLE COVERS, VALVE BOXES, ETC., IN THE AREAS OF NEW GRADING. COORDINATE WITH LOCAL UTILITY COMPANY.
8. PREPARE ALL LANDSCAPE AREAS AND AREAS WITHIN THE RIGHT-OF-WAY TO RECEIVE 8-INCHES OF ACCEPTABLE TOPSOIL MATERIAL AND 2-INCHES OF LANDSCAPING OR BERMUDA GRASS SO THAT THE FINAL GRADE IS LEVEL WITH THE TOP OF CURB OR FLOW LINE OF DRAINS.
9. SPOT ELEVATIONS SHOWN ON THE TANK MANHOLES ARE DIRECT INTERPOLATION OF PROPOSED SLOPES. RAISE MANHOLES AS CALLED FOR ON TANK DETAIL SHEET OR AS INSTRUCTED BY CST'S REPRESENTATIVE. SEE TANK MAXIMUM TOP ELEVATION ON THIS SHEET.
10. NEW CONCRETE SHALL MATCH EXISTING CONCRETE. CONCRETE SHALL BE 4,000 PSI. DOWEL INTO EXISTING CONCRETE W/NO.3 BARS AT 18" ON CENTER. EMBED DOWEL BARS 9" INTO EXISTING CONCRETE AND EPOXY.
11. ACCESSIBLE ROUTE WILL BE NO MORE THAN A 2.0% CROSS SLOPE.

LEGEND

EXISTING			
	GAS METER		WATER MANHOLE
	IRR. CONTROL VALVE		TRAFFIC SIGNAL POLE
	TELEPHONE PEDESTAL		TRAFFIC VAULT
	POWER POLE		SWB MANHOLE
	DOWN GUY		GAS MANHOLE
	S.S. MANHOLE		STORM DRAIN MANHOLE
	CLEAN OUT		VAULT
	SIGN		HANDICAP SPACE
	LIGHT POLE		FIRE HYDRANT
	TYPICAL FENCE		WATER METER
	CONCRETE		FUEL PORT
	GRAVEL		WATER VALVE
	BRICK		TRANSFORMER PAD
	A/C PAD		ELECTRIC METER
<hr/>			
PROPOSED			
	PROPERTY LINE/RIGHT OF WAY LINE		STORM DRAIN
	CONCRETE CURB AND GUTTER		SANITARY SEWER SERVICE (BY OTHERS)
	EASEMENT LINE		SANITARY SEWER SERVICE
	WATER SERVICE		UNDERGROUND ELECTRIC AND TELEPHONE SERVICE
	WATER SERVICE (BY OTHERS)		
	CONCRETE SIDEWALK		CURB INLET
	PEDESTRIAN WALKWAY		GRATE INLET
			AREA INLET
			JUNCTION BOX
			CONTROL POINT
			CLEAN OUT
			FIRE HYDRANT
			GATE VALVE
			AREA LIGHT
			TABLE SEATING
			GREASE TRAP
			SIGN
			WATER METER
			BACKFLOW PREVENTER

PRELIMINARY
NOT FOR
CONSTRUCTION

APPROVED BY THE CITY COUNCIL ON THE _____ DAY
OF _____ 20_____
PLANNING DIRECTOR

CEI Engineering Associates, Inc.
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3030 LBJ Freeway, Suite 100 (972)488-3737
Dallas, TX 75234 FAX (972)488-6732

JOB NO. 28268
EXISTING INFORMATION ON THIS DRAWING WAS OBTAINED FROM A SURVEY PREPARED BY: PEISER & MANKIN SURVEYING, LLC
623 E DALLAS ROAD
GRAPEVINE, TEXAS 76051
TIMOTHY R. MANKIN, R.P.L.S. #6122

REVISIONS				DRAWING REISSUE DATE	
NO.	DATE	DESCRIPTION	DRAWN	APP'D	ISSUE DATE

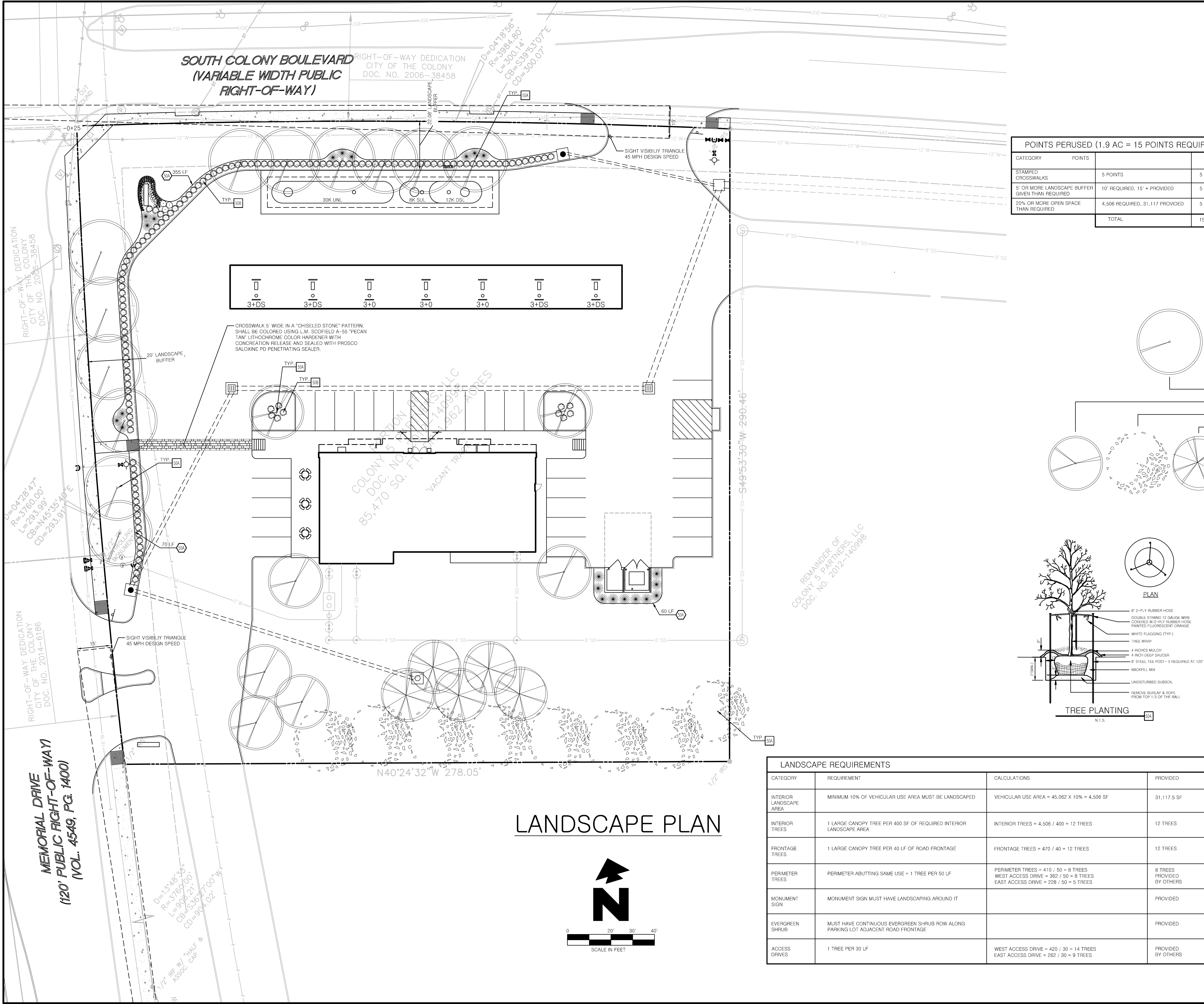
CORNER STORE
CST BRANDS, INC.

1 VALERO WAY SAN ANTONIO, TEXAS 78249

UTILITY SITE PLAN	SP-3.1
COLONY DR & MEMORIAL DR	TX
THE COLONY	TX

F-7524

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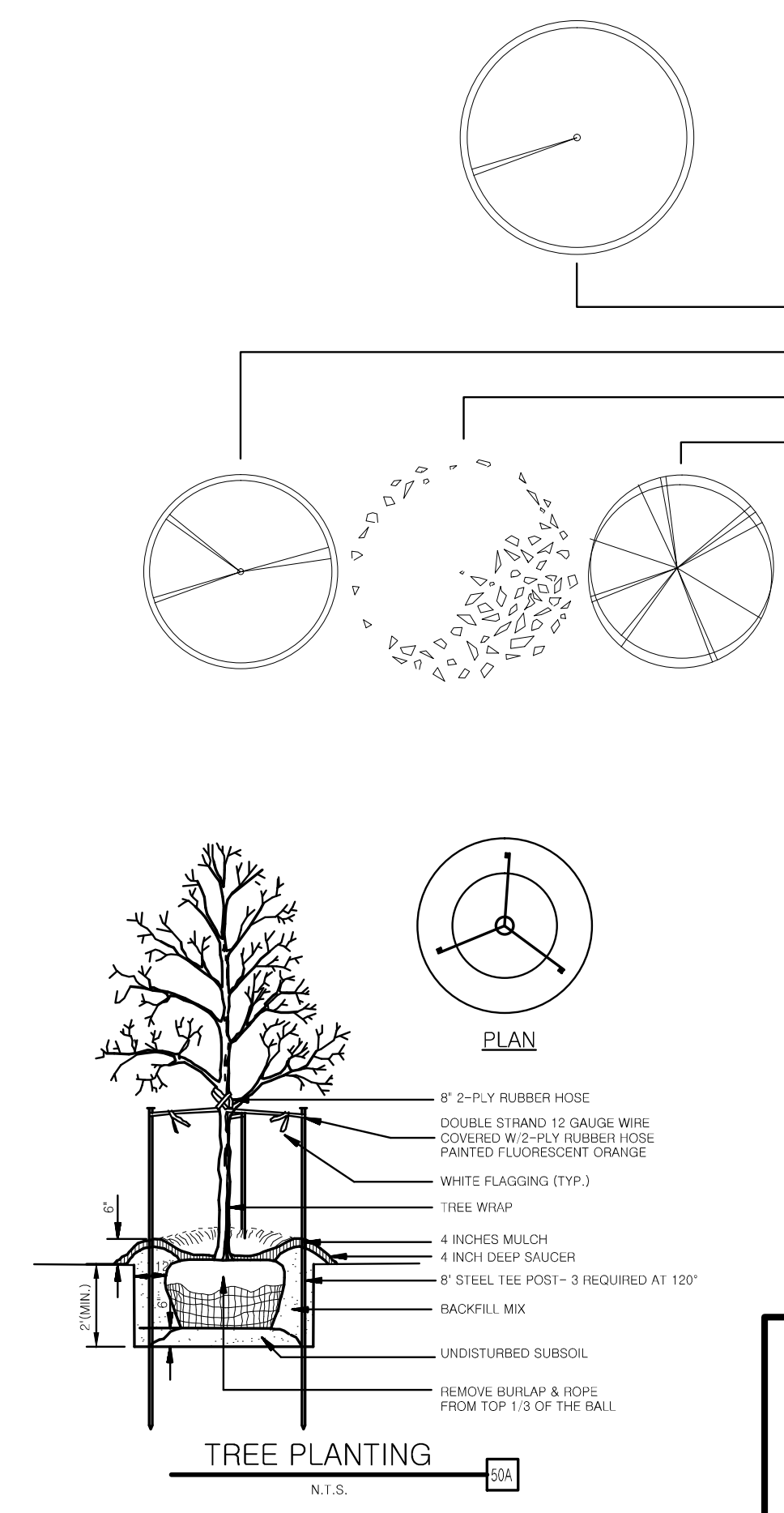
PROPOSED	
	PROPERTY LINE/RIGHT OF WAY LINE
	STORM DRAIN
	STORM CATCH BASIN
	STORM MANHOLE
	COMMON BERMUDA GRASS SOD
	LIGHT POLE BASE

- GENERAL LANDSCAPE NOTES
- A. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- B. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- C. SEEDING ON SLOPES: HYDROSEED WITH GRASS SEED AS INDICATED ON PLANS. SEE LEGEND FOR SPECIFIC GRASS SEED TYPE. SEEDING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER BED PREPARATION. HYDROSEED MIXTURE SHALL CONTAIN CELLULOSE MULCH APPLIED AT A RATE OF 2,000 LBS./ACRE, WITH A MAXIMUM OF 50 LBS./100 GAL. OF WATER. IF SEEDING IS DELAYED AFTER MIXING 1/2 - 2 HOURS ADD AN ADDITIONAL 50% OF SEED MIX. IF DELAY IS LONGER THAN 2 HOURS, BEGIN WITH NEW MIXTURE. ALL SLOPES 2:1 OR GREATER SHALL BE COVERED WITH "QUILTEX" BLANKETS. SEE SPECIFICATIONS FOR SEED ESTABLISHMENT REQUIREMENTS.
- D. SEE GRADING PLAN FOR APPLICATION OF TOPSOIL AND MAINTENANCE OF SEEDED AREAS.
- E. HARDWOOD MULCH SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (SEE PLANTING DETAILS).

- LANDSCAPE NOTES
- 50A STEEL EDGING
- LANDSCAPE DETAILS
- 50A TREE PLANTING
50B SHRUB PLANTING

POINTS PERUSED (1.9 AC = 15 POINTS REQUIRED)		
CATEGORY	POINTS	
STAMPED CROSSWALKS	5 POINTS	5 POINTS
5' OR MORE LANDSCAPE BUFFER GIVEN THAN REQUIRED	10' REQUIRED, 15' + PROVIDED	5 POINTS
20% OR MORE OPEN SPACE THAN REQUIRED	4,506 REQUIRED, 31,117 PROVIDED	5 POINTS
TOTAL		15 POINTS

PLANT LIST				
QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
12	GINKGO Ginkgo biloba	CONT	2" CAL	PLANT AS SHOWN MIN. 6' HEIGHT (MALE ONLY)
7	AMERICAN SMOKE TREE Cotinus corymbosa	CONT	2" CAL	PLANT AS SHOWN MIN. 6' HEIGHT
8	CHINESE PRITCHARD Pistacia chinensis	CONT	2" CAL	PLANT AS SHOWN MIN. 6' HEIGHT
5	TEXAS REDBUD Gleditsia canadensis v. texensis	CONT	2" CAL	PLANT AS SHOWN MIN. 6' HEIGHT
22	RED YUCCA Yucca rostrata	CONT	1 GAL	PLANT AS SHOWN
130	BORWICK Buxus Microphylla	CONT	5 GAL	PLANT AS SHOWN MIN. 18 INCH HEIGHT
21	EDWARD GLOUCHER ABELIA Abelia 'Edward Goucher'	CONT	1 GAL	PLANT AS SHOWN
80	LIROPE Liriope muscarii	CONT	FLAT	PLANT AS SHOWN



APPROVED BY THE CITY COUNCIL ON THE _____ DAY OF _____ 20____

PLANNING DIRECTOR

JOB NO. 28268

EXISTING INFORMATION ON THIS DRAWING WAS OBTAINED FROM A SURVEY PREPARED BY: PEISER & MANKIN SURVEYING, LLC 623 E DALLAS ROAD GRAPESVILLE, TEXAS 76051 TIMOTHY R. MANKIN, R.P.L.S. #6122

ENGINEERS PLANNERS SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

3030 LBJ Freeway, Suite 100 Dallas, TX 75234 (972) 498-3737 (972) 498-6732

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CORNER STORE
CST BRANDS, INC.

1 VALERO WAY SAN ANTONIO, TEXAS 78249

LANDSCAPE PLAN

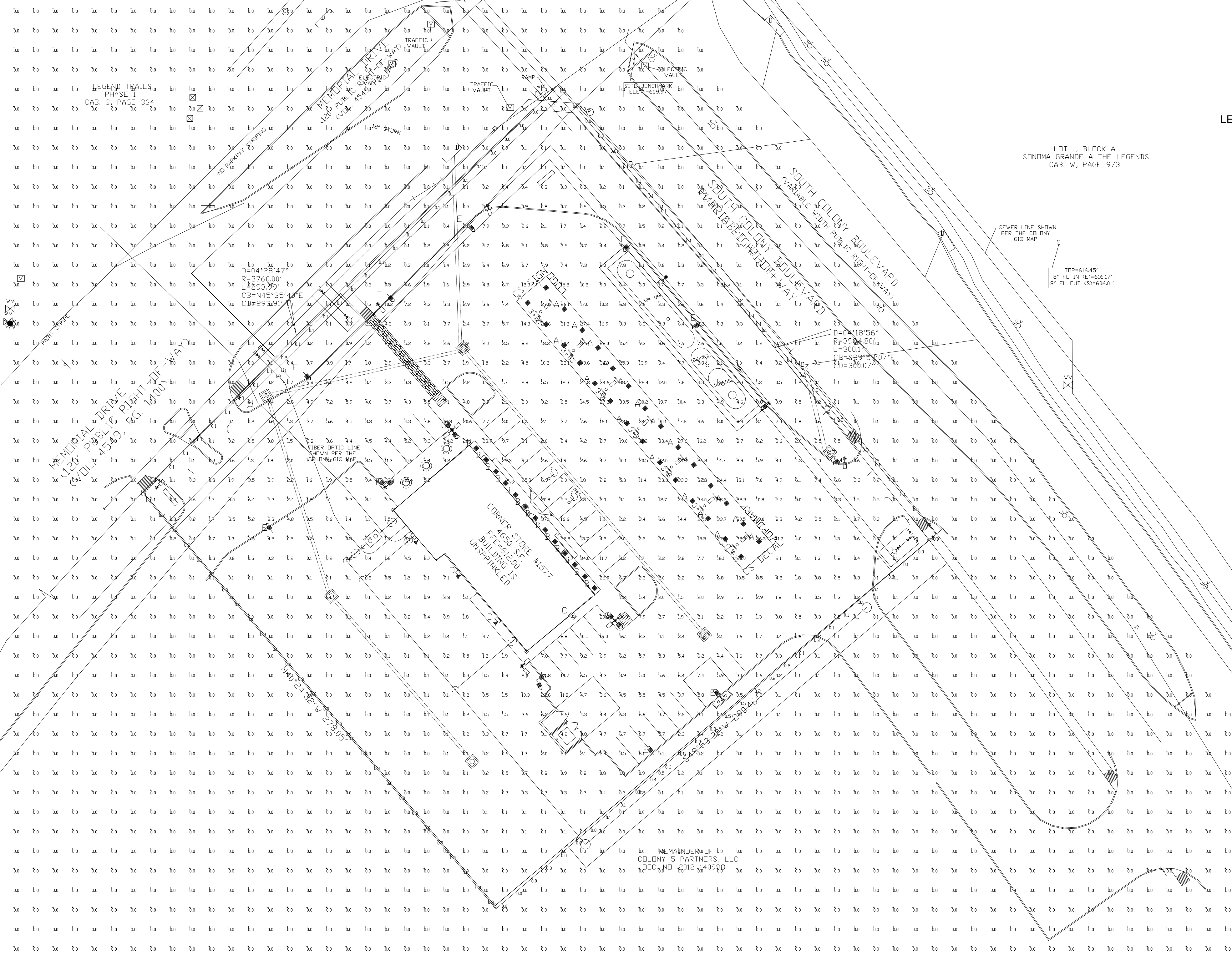
COLONY DR & MEMORIAL DR

THE COLONY TX

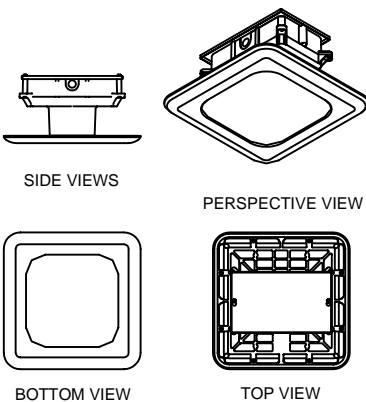
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Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Illuminance	Fc	1.64	37.1	0.0	N.A.	N.A.
PL READING	Illuminance	Fc	0.10	0.6	0.0	N.A.	N.A.
PARKING/DRIVE SUMMARY	Illuminance	Fc	5.72	34.0	0.1	57.20	340.00
UNDER CANOPY SUMMARY	Illuminance	Fc	31.31	34.6	25.0	1.25	1.38



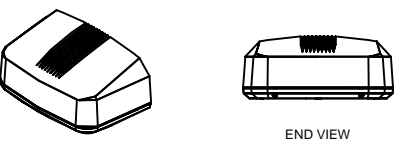
CRUS-SC-LED
LED CANOPY LIGHT - LEGACY



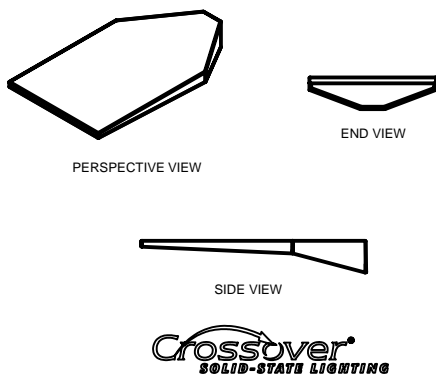
XSL2-S-50
LED Crossover Soffit



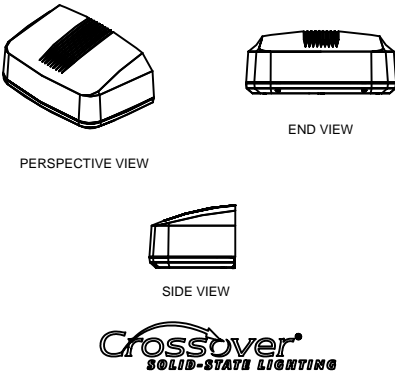
PWM
LED Crossover Wall Mount Light



XLCS
LED Crossover Area Light



XPWS3
LED Crossover Wall Mount Light



Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

Luminaire Schedule					LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
Symbol	Qty	Label	Arrangement	Description				
	2	G	D180°	XLCS-FT-LED-SS-CW D180 - 15' MH	0.900	N.A.	22766	192.4
	2	F	2 @ 90 DEGREES	XLCS-FT-LED-SS-CW D90 - 15' MH	0.900	N.A.	22766	192.4
	10	E	SINGLE	XLCS-FT-LED-SS-CW-HSS SINGLE - 15' MH	0.900	N.A.	9151	95.8
	3	D	SINGLE	PWM-S-LED-HO-CW-UE	0.900	N.A.	5184	55.6
	1	C	SINGLE	XPWS3-FT-LED-48-450-CW-UE W/ BATTERY BACK-UP	0.900	N.A.	6159	72
	13	B	SINGLE	XSL2-S-LED-50-SS-CW -- FRONT SOFIT ONLY	0.900	N.A.	6193	59.9
	28	A	SINGLE	CRUS-SC-LED-VLW-CW	0.900	N.A.	8842	78.7

Total Project Watts
Total Watts = 49487

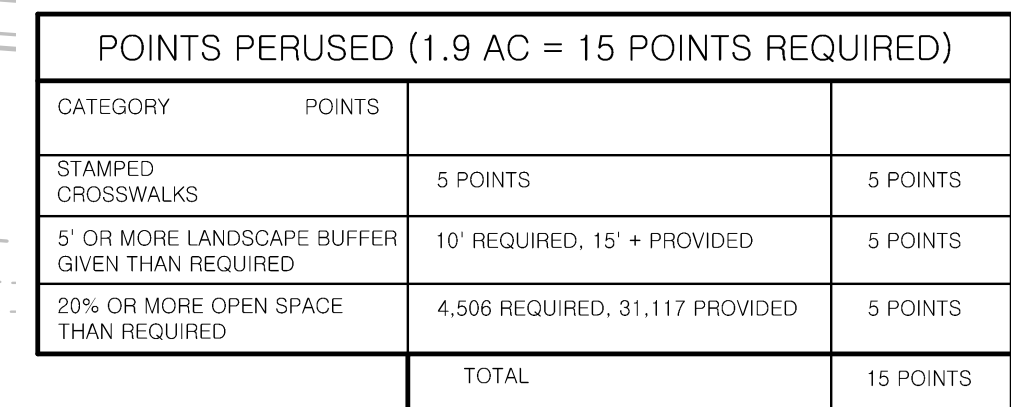


LIGHTING PROPOSAL LD-127162-2

EST/VALERO #1577
MEMORIAL BLVD
THE COLONY, TX

BY/LLS DATE:4/21/15 REV:5/6/15 SHEET 1 OF 1

SCALE: 1"=30' 0 30



PROPOSED

PROPERTY LINE/RIGHT OF WAY LINE

STORM DRAIN

STORM CATCH BASIN

STORM MANHOLE

COMMON BERMUDA GRASS SOD

LIGHT POLE BASE

GENERAL LANDSCAPE NOTES

- A. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- B. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- C. SEEDING ON SLOPES: HYDROSEED WITH GRASS SEED AS INDICATED ON PLANS. SEE LEGEND FOR SPECIFIC GRASS SEED TYPE. HYDROSEED SHALL BE ACCOMPLISHED IMMEDIATELY AFTER BED PREPARATION. HYDROSEED SHALL CONTAIN CELLULOSE MULCH APPLIED AT A RATE OF 2,000 LBS./ACRE, WITH A MAXIMUM OF 50 LBS./100 GAL. OF WATER. IF SEEDING IS DELAYED AFTER MIXING 1/2 - 2 HOURS ADD AN ADDITIONAL .50% OF SEED MIX. IF DELAY IS LONGER THAN 2 HOURS, BEGIN WITH NEW MIXTURE. ALL SLOPES 2:1 OR GREATER SHALL BE COVERED WITH "CURLEX" BLANKETS. SEE SPECIFICATIONS FOR SEED ESTABLISHMENT REQUIREMENTS.
- D. SEE GRADING PLAN FOR APPLICATION OF TOPSOIL AND MAINTENANCE OF SEEDED AREAS.
- E. HARDWOOD MULCH SHALL BE USED AS A FOUR (4) INCH (1") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (SEE PLANTING DETAILS).

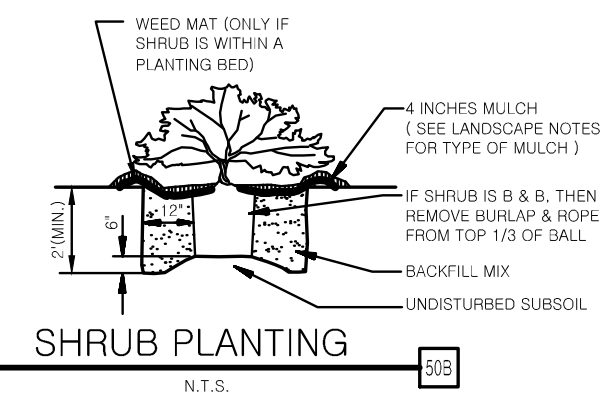
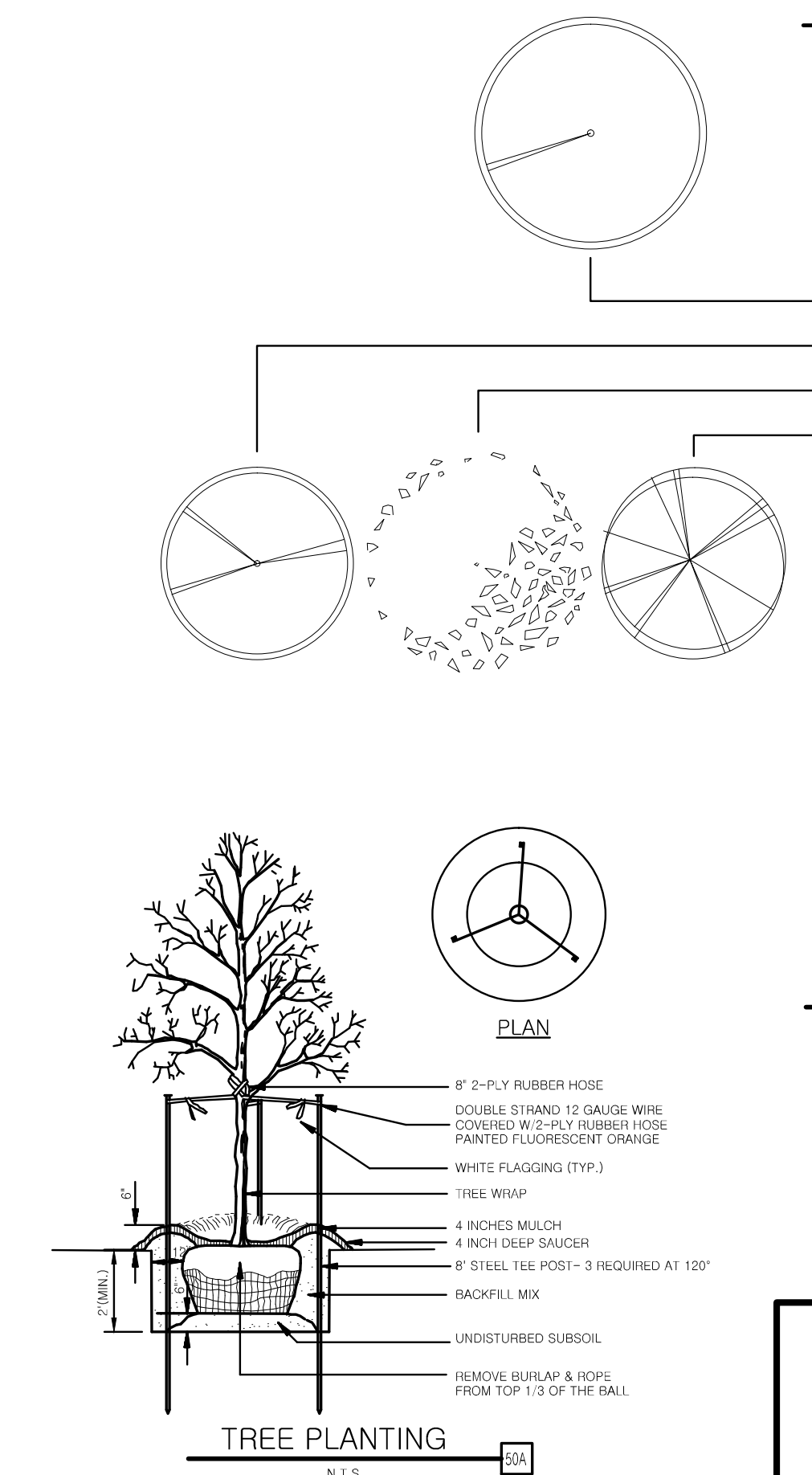
LANDSCAPE NOTES

50A STEEL EDGING

☐ LANDSCAPE DETAILS


50A TREE PLANTING
50B SHRUB PLANTING


PLANT LIST				
QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
12	GINGKO <i>Ginkgo biloba</i>	CONT.	2' GAL	PLANT AS SHOWN MIN. 6' HEIGHT (MALE ONLY)
7	AMERICAN OAKLE TREE <i>Quercus alba</i>	CONT.	2' GAL	PLANT AS SHOWN MIN. 6' HEIGHT
8	CHINESE PISTACHE <i>Platanus chinensis</i>	CONT.	2' GAL	PLANT AS SHOWN MIN. 6' HEIGHT
5	TEXAS REDBUD <i>Cercis canadensis</i> x <i>venusta</i>	CONT.	2' GAL	PLANT AS SHOWN MIN. 6' HEIGHT
22	RED YUCCA <i>Heperocarpus parviflora</i>	CONT.	1 GAL	PLANT AS SHOWN
20	BOXWOOD <i>Buxus Microphylla</i>	CONT.	5 GAL	PLANT AS SHOWN MIN. 18" HIGH
21	EDWARD GOUCHER ARBUEA <i>Arbuta</i> Edward Goucher	CONT.	1 GAL	PLANT AS SHOWN
80	LIROPE <i>Liriodie muscarii</i>	CONT.	FLAT	PLANT AS SHOWN



APPROVED BY THE CITY COUNCIL ON THE _____ DAY
OF _____ 20_____

PLANNING DIRECTOR

 <div style="display: inline-block; vertical-align: middle;"> <h2 style="margin: 0;">Engineering Associates, Inc.</h2> <p style="margin: 5px 0 0 0;"> ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS </p> <p style="margin: 5px 0 0 0;"> 3030 LBJ Freeway, Suite 100 (972) 488-3737 Dallas, TX 75234 FAX (972) 488-6732 </p> </div>				JOB NO. 2826 EXISTING INFORMATION ON THIS DRAWING WAS OBTAINED FROM A SURVEY PREPARED BY PEISER & MANKIN SURVEYING, LLC, 623 E DALLAS ROAD GRAPEVINE, TEXAS 76051 TIMOTHY R. MANKIN, R.P.L.S. #6122	
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CORNER STORE

157

1 VALERO WAY	SAN ANTONIO, TEXAS	78249
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LANDSCAPE PLAN

COLONY DR & MEMORIAL DR

THE COLONY TX

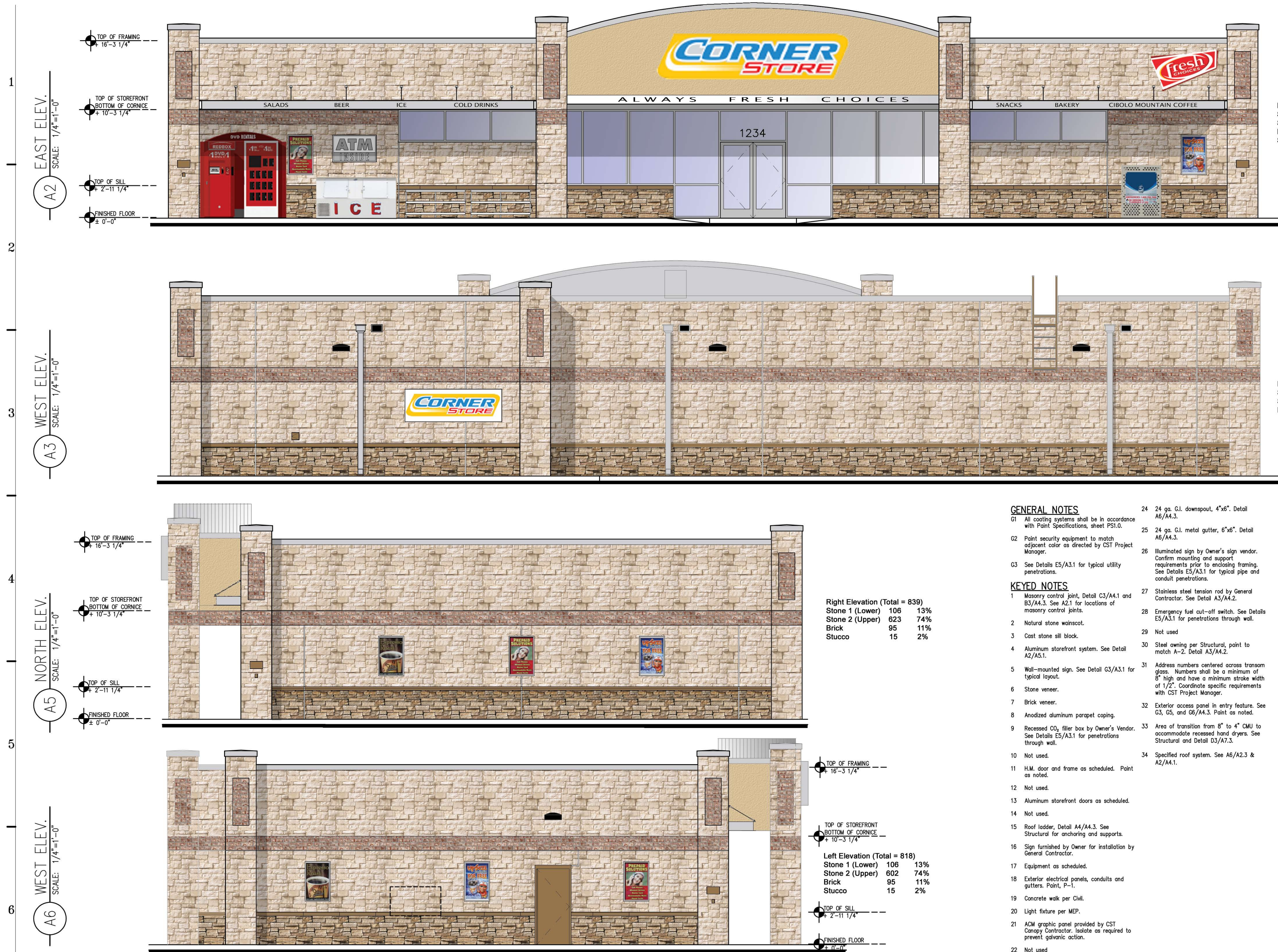
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CHECKED BY: F-7524

DATE: F-7524



Front Elevation (Total = 1,297)

Stone 1 (Lower)	215	16%
Stone 2 (Upper)	766	59%
Brick	86	7%
Stucco	230	18%

Rear Elevation (Total = 2,409)

Stone 1 (Lower)	240	10%
Stone 2 (Upper)	1,133	47%
Brick	1,036	43%

Right Elevation (Total = 839)

Stone 1 (Lower)	106	13%
Stone 2 (Upper)	623	74%
Brick	95	11%
Stucco	15	2%

Left Elevation (Total = 818)

Stone 1 (Lower)	106	13%
Stone 2 (Upper)	602	74%
Brick	95	11%
Stucco	15	2%

GENERAL NOTES

- G1 All coating systems shall be in accordance with Paint Specifications, sheet PS1.0.
- G2 Paint security equipment to match adjacent color as directed by CST Project Manager.
- G3 See Details E5/A3.1 for typical utility penetrations.
- 1 Masonry control joint, Detail C3/A4.1 and B3/A4.3. See A2.1 for locations of masonry control joints.
- 2 Natural stone wainscot.
- 3 Cast stone sill block.
- 4 Aluminum storefront system. See Detail A2/A5.1.
- 5 Wall-mounted sign. See Detail G3/A3.1 for typical layout.
- 6 Stone veneer.
- 7 Brick veneer.
- 8 Anodized aluminum parapet coping.
- 9 Recessed CO₂ filler box by Owner's Vendor. See Details E5/A3.1 for penetrations through wall.
- 10 Not used.
- 11 H.M. door and frame as scheduled. Paint as noted.
- 12 Not used.
- 13 Aluminum storefront doors as scheduled.
- 14 Not used.
- 15 Roof ladder, Detail A4/A4.3. See Structural for anchoring and supports.
- 16 Sign furnished by Owner for installation by General Contractor.
- 17 Equipment as scheduled.
- 18 Exterior electrical panels, conduits and gutters. Paint, P-1.
- 19 Concrete walk per Civil.
- 20 Light fixture per MEP.
- 21 ACM graphic panel provided by CST Canopy Contractor. Isolate as required to prevent galvanic action.
- 22 Not used.
- 23 Not used.
- 24 24 ga. G.I. downspout, 4"x6". Detail A6/A4.3.
- 25 24 ga. G.I. metal gutter, 6"x6". Detail A6/A4.3.
- 26 Illuminated sign by Owner's sign vendor. Confirm mounting and support requirements prior to enclosing framing. See Details E5/A3.1 for typical pipe and conduit penetrations.
- 27 Stainless steel tension rod by General Contractor. See Detail A3/A4.2.
- 28 Emergency fuel cut-off switch. See Details E5/A3.1 for penetrations through wall.
- 29 Not used.
- 30 Steel awning per Structural, paint to match A-2. Detail A3/A4.2.
- 31 Address numbers centered across transom glass. Numbers shall be a minimum of 8" high and have a minimum stroke width of 1/2". Coordinate specific requirements with CST Project Manager.
- 32 Exterior access panel in entry feature. See G3, G5, and G6/A4.3. Paint as noted.
- 33 Area of transition from 8" to 4" CMU to accommodate recessed hand dryers. See Structural and Detail D3/A7.3.
- 34 Specified roof system. See A6/A2.3 & A2/A4.1.

KEYED NOTES